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THE USE OF THE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED AND PUBLIC USE OF THESE PLANS FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED. ANY REUSE OF THESE PLANS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF WR&D ARCHITECTS LLP IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE ARCHITECT.

GENERAL CONTRACTOR



DEVELOPER



THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

14146
PRINT DATE: 8.7.2015
DRAWN BY: AGUJ
CHECKED BY: KTHR
SET ISSUED

SHEET NAME
COVER SHEET

SHEET NO.
A001

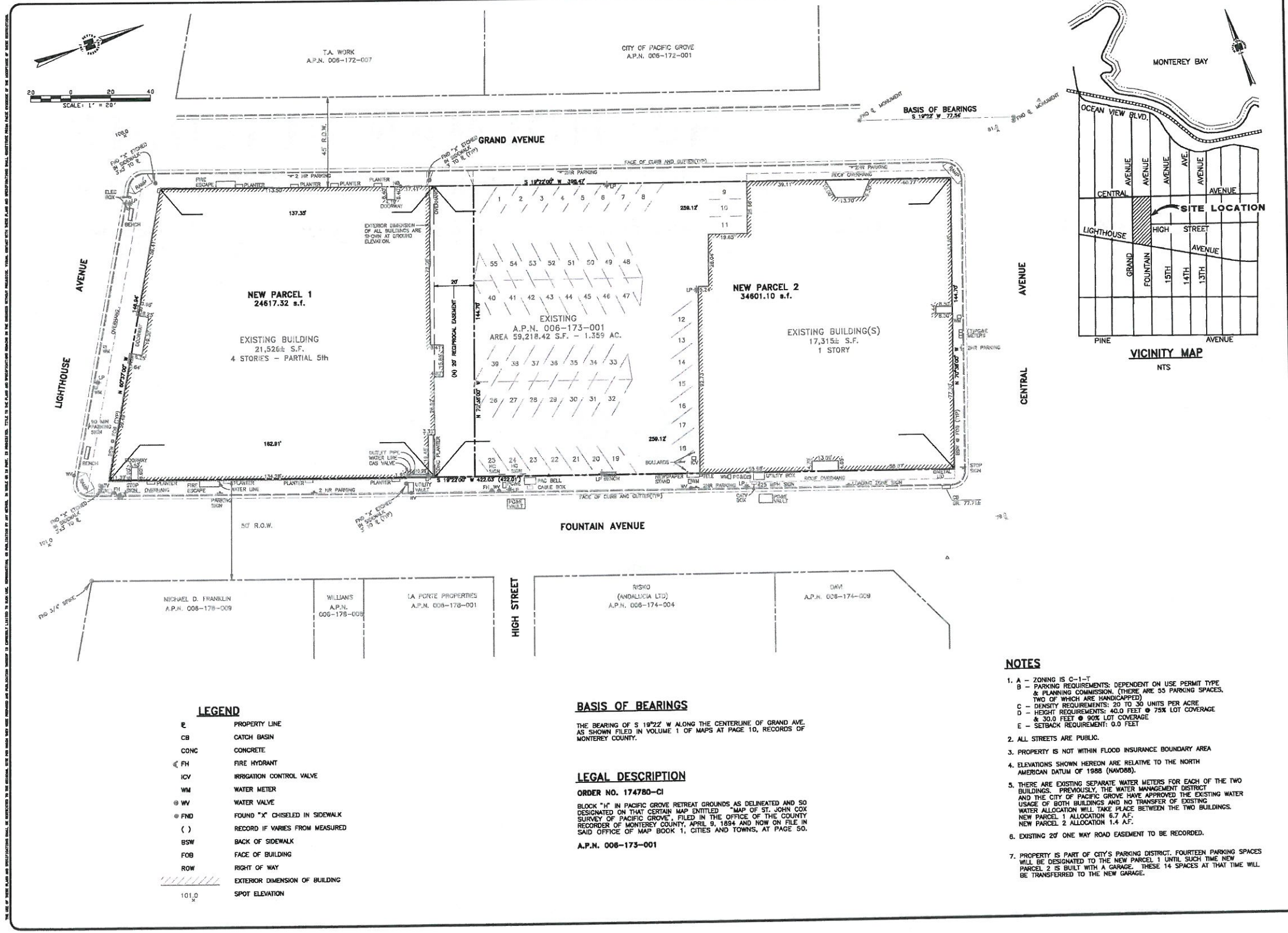
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THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE, PACIFIC GROVE, CA 93950

ABBREVIATIONS	LEGEND	SYMBOLS	PROJECT TEAM	PROJECT INFORMATION	SHEET INDEX
<p>ABBREVIATIONS</p> <p>A.B. ANCHOR BOLT A.C. AIR CONDITIONING A.D. ADJUSTABLE A.F. AIR FILTER A.G. AIR GARDEN A.H. AIR HEATER A.I. AIR INLET A.L. AIR LIFT A.M. AIR MOUNT A.N. AIR NOISE A.O. AIR OUTLET A.P. AIR PUMP A.R. AIR REGISTER A.S. AIR SUPPLY A.T. AIR TREATMENT A.U. AIR UNIT A.V. AIR VALVE A.W. AIR WASH A.X. AIR EXHAUST A.Y. AIR YIELD A.Z. AIR ZONE</p>	<p>LEGEND</p> <p>EARTH ROCK SAND, MORTAR, PLASTER CONCRETE BLOCK CAST-IN-PLACE (C.I.P.) CONCRETE (E) STUD WALL (N) STUD WALL (E) STUD WALL TO BE REMOVED SPOND INSULATED STUD WALL METAL WOOD FINISH WOOD FRAMING CONTINUOUS MEMBER WOOD BLOCKING PLYWOOD GYPSUM WALLBOARD A.C. PAVING</p>	<p>SYMBOLS</p> <p>DOOR SYMBOL WINDOW SYMBOL KEY TAG DEMILITATION TAG MATCH LINE WORK POINT, DATUM POINT OR CONTROL VERTICAL OR HORIZONTAL DIAPHRAGM KEY SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN FINISH GRADE (SPOT) ELEVATION SURFACE EXISTING GRADE (SPOT) ELEVATION SURFACE PROPERTY LINE REVISION</p>	<p>OWNER GOLD COAST DESIGN, INC. 7107 WICKERS STREET SAN DIEGO, CA 92111 ph: (619) 574-0029 fax: (619) 874-0023 Email: info@goldcoastdesign.com CONTRACTOR: GARY SHAW</p> <p>ARCHITECT WALD, RUHNKE & DOST ARCHITECTS, LLP 2347 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 640-4642 fax: (831) 640-3730 Email: info@wr&d.com Contact: KENNETH TURGEN</p> <p>GENERAL CONTRACTOR GOLD COAST DESIGN, INC.</p> <p>DEVELOPER MONTEREY CAPITAL</p>	<p>PROJECT INFORMATION</p> <p>PROJECT: THE HOLMAN BUILDING LOCATION: 542 LIGHTHOUSE AVENUE, PACIFIC GROVE, CA 93950 APN: 006-173-001 ZONING: C-1-T USE: RETAIL/RESTAURANT/CONDOMINIUM LOT SIZE: 0.58 AC = 25,340.82 S.F. (E) BUILDING FOOTPRINT: ± 22,841 S.F. (N) BUILDING FOOTPRINT: ± 22,725 S.F. BUILDING AREA: ± 22,725 S.F. (12,810 S.F. PARKING (BASEMENT) ± 20,105 S.F. (FIRST FLOOR) ± 19,781 S.F. (SECOND FLOOR) ± 19,605 S.F. (THIRD FLOOR) ± 19,605 S.F. (FOURTH FLOOR) ± 10,723 S.F. (PENTHOUSE) ± 112,851 S.F. (PENTHOUSE)</p> <p>APPLICABLE BUILDING CODES & STANDARDS 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 CALIFORNIA 2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2013 CALIFORNIA RESIDENTIAL CODE (CRC), PART 2.5, TITLE 24 C.C.R. 2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. 2013 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R. 2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. 2010 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R. 2013 CALIFORNIA ELEVATOR CODE, PART 7, TITLE 24 C.C.R. 2013 CALIFORNIA HISTORICAL BUILDING CODE (CHC), PART 8, TITLE 24 C.C.R. 2011 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R. 2013 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R. 2013 CALIFORNIA GREEN STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R. 2013 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS</p> <p>PARTIAL LIST OF APPLICABLE STATE STANDARDS NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2013 EDITION NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, (CA AMENDED) 2013 EDITION</p> <p>NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEAN OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSES) OF THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.</p>	<p>SHEET INDEX</p> <p>SHT. # TITLE A001 COVER SHEET</p> <p>ARCHITECTURAL</p> <p>A100 EXISTING CONDITIONS SURVEY D001 EXISTING BASEMENT FLOOR PLAN D002 EXISTING FIRST FLOOR PLAN D003 EXISTING SECOND FLOOR PLAN D004 EXISTING THIRD FLOOR PLAN D005 EXISTING FOURTH FLOOR PLAN D006 EXISTING PENTHOUSE FLOOR PLAN D007 BASEMENT FLOOR PLAN A101 FIRST FLOOR PLAN A102 SECOND FLOOR PLAN A103 THIRD FLOOR PLAN A104 FOURTH FLOOR PLAN A105 PENTHOUSE FLOOR PLAN A106 SOUTH ELEVATIONS A107 EAST ELEVATIONS A108 NORTH ELEVATIONS A109 WEST ELEVATIONS A110 3D PHOTO-REALISTIC RENDERING A111 3D PERSPECTIVE RENDERING A112 BUILDING SECTIONS</p>
<p>LOCATION MAP</p>	<p>VICINITY MAP</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR IMPLIED) ON THESE PLANS TO RENDER THE WORK COMPLETE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY FOR THE SUPERVISION OF THE WORK. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE. AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR IMPLIED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES. EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT. ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT. PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 708 OF THE CURRENT ADOPTED EDITION OF C.B.C. 			



1. 5209 5209201 DMS PLANS (TENTATIVE) DWG - harriman@wr - FEB 09, 2015 - 11:45:31
THIS SET OF PLANS AND INSTRUMENTS SHALL BE VOID IF ANY PART OF THE PLAN OR INSTRUMENT IS REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WR&D ARCHITECTS LLP.

LEGEND

—	PROPERTY LINE
CB	CATCH BASIN
CONC	CONCRETE
FH	FIRE HYDRANT
ICV	IRRIGATION CONTROL VALVE
WM	WATER METER
WV	WATER VALVE
○	FOUND "X" CHISELED IN SIDEWALK
()	RECORD IF VARIES FROM MEASURED
BSW	BACK OF SIDEWALK
FOB	FACE OF BUILDING
ROW	RIGHT OF WAY
101.0	SPOT ELEVATION

BASIS OF BEARINGS
THE BEARING OF S 19°22' W ALONG THE CENTERLINE OF GRAND AVE. AS SHOWN FILED IN VOLUME 1 OF MAPS AT PAGE 10, RECORDS OF MONTEREY COUNTY.

LEGAL DESCRIPTION
ORDER NO. 174780-CI
BLOCK "H" IN PACIFIC GROVE RETREAT GROUNDS AS DELINEATED AND SO DESIGNATED ON THAT CERTAIN MAP ENTITLED "MAP OF ST. JOHN COX SURVEY OF PACIFIC GROVE," FILED IN THE OFFICE OF THE COUNTY RECORDER OF MONTEREY COUNTY, APRIL 9, 1894 AND NOW ON FILE IN SAID OFFICE OF MAP BOOK 1, CITIES AND TOWNS, AT PAGE 50.
A.P.N. 006-173-001

- NOTES**
- A - ZONING IS C-1-T
B - PARKING REQUIREMENTS: DEPENDENT ON USE PERMIT TYPE & PLANNING COMMISSION. (THERE ARE 55 PARKING SPACES, TWO OF WHICH ARE HANDICAPPED)
C - DENSITY REQUIREMENTS: 20 TO 30 UNITS PER ACRE
D - HEIGHT REQUIREMENTS: 40.0 FEET @ 75% LOT COVERAGE & 30.0 FEET @ 90% LOT COVERAGE
E - SETBACK REQUIREMENT: 0.0 FEET
 - ALL STREETS ARE PUBLIC.
 - PROPERTY IS NOT WITHIN FLOOD INSURANCE BOUNDARY AREA
 - ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).
 - THERE ARE EXISTING SEPARATE WATER METERS FOR EACH OF THE TWO BUILDINGS. PREVIOUSLY, THE WATER MANAGEMENT DISTRICT AND THE CITY OF PACIFIC GROVE HAVE APPROVED THE EXISTING WATER USAGE OF BOTH BUILDINGS AND NO TRANSFER OF EXISTING WATER ALLOCATION WILL TAKE PLACE BETWEEN THE TWO BUILDINGS.
NEW PARCEL 1 ALLOCATION 6.7 A.F.
NEW PARCEL 2 ALLOCATION 1.4 A.F.
 - EXISTING 20' ONE WAY ROAD EASEMENT TO BE RECORDED.
 - PROPERTY IS PART OF CITY'S PARKING DISTRICT. FOURTEEN PARKING SPACES WILL BE DESIGNATED TO THE NEW PARCEL 1 UNTIL SUCH TIME NEW PARCEL 2 IS BUILT WITH A GARAGE. THESE 14 SPACES AT THAT TIME WILL BE TRANSFERRED TO THE NEW GARAGE.

REVISIONS

1/28/18	ADDED NOTES 5 TO 7
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DESIGNED BY: []
DRAWN BY: SOT
DATE: []
ENGINEER: []
RE: []
CIP: []

PRELIMINARY
NOT FOR CONSTRUCTION

BESTOR ENGINEERS, INC.
CIVIL ENGINEERING - SURVEYING - LAND PLANNING
8701 BLUE LANSARUE LANE, MONTEREY, CALIFORNIA 93940

PREPARED FOR: MAUER ADRA
TENTATIVE PARCEL MAP
HOLMAN BUILDING - A.P.N. 006-173-001
542 LIGHTHOUSE AVE. - CITY OF PACIFIC GROVE
COUNTY OF MONTEREY, CALIFORNIA

SCALE: 1" = 20'
DATE: 12/5/14
SHEET: 1 OF 1
NO: 5209.02



006-173-001
A.P.N.

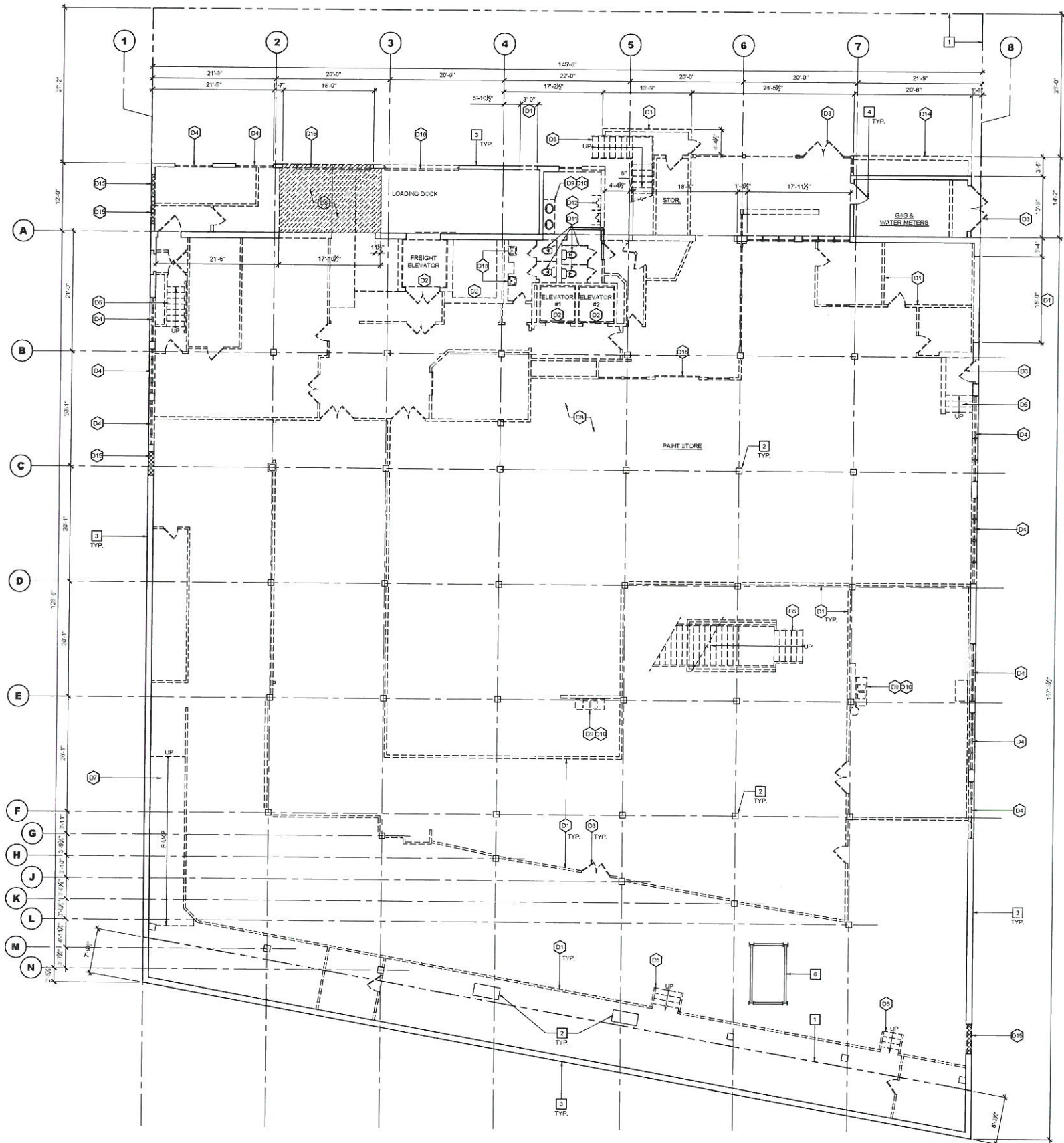
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EXISTING CONDITIONS SURVEY
SHEET NO.

A100

FILE NAME: 14146.DWG



TRUE PLAN NORTH
EXISTING CONDITIONS AND DEMOLITION BASEMENT FLOOR PLAN
 SCALE 1/8"=1'-0"

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
- D6 SAW CUT EXISTING LOADING DOCK SLAB IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
- D7 REMOVE AND LEGALLY DISPOSE OF EXISTING RAMP.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING COUNTER TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET AND TOILET PARTITION TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D12 REMOVE AND LEGALLY DISPOSE OF EXISTING URINAL TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D13 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL HUNG SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D14 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING PLANTER WALL.
- D15 REMOVE AND LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
- D16 REMOVE AND LEGALLY DISPOSE OF EXISTING ROLL-UP DOOR.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 PROPERTY LINE.
- 2 EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
- 3 EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.
- 4 EXISTING DOOR TO REMAIN INTACT - TYP. AS SHOWN.
- 5 EXISTING WINDOW TO REMAIN INTACT - TYP. AS SHOWN.
- 6 EXISTING VAULT SUPPORT STEEL STRUCTURE TO REMAIN INTACT. PROTECT FROM DAMAGE.

GENERAL NOTES

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2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISposal WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
10. CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.) ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL, VENTILATION, HEATING AND/OR COOLING SYSTEMS ARE PROVIDED TO ALL EXISTING TENANTS IN THE BUILDING WHERE WORK WILL OCCUR (AS WELL AS IN BUILDING WHERE WORK WILL NOT OCCUR).
11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE BUSINESS THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION WITH BUILDING OWNER PRIOR TO WORK.

LEGEND

EXISTING WALL TO REMAIN INTACT	EXISTING WALL TO BE DEMOLISHED.
EXISTING WINDOW TO REMAIN INTACT	EXISTING WINDOW TO BE DEMOLISHED.
EXISTING DOOR TO REMAIN INTACT	EXISTING DOOR TO BE DEMOLISHED.

50

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GENERAL CONTRACTOR

 DEVELOPER

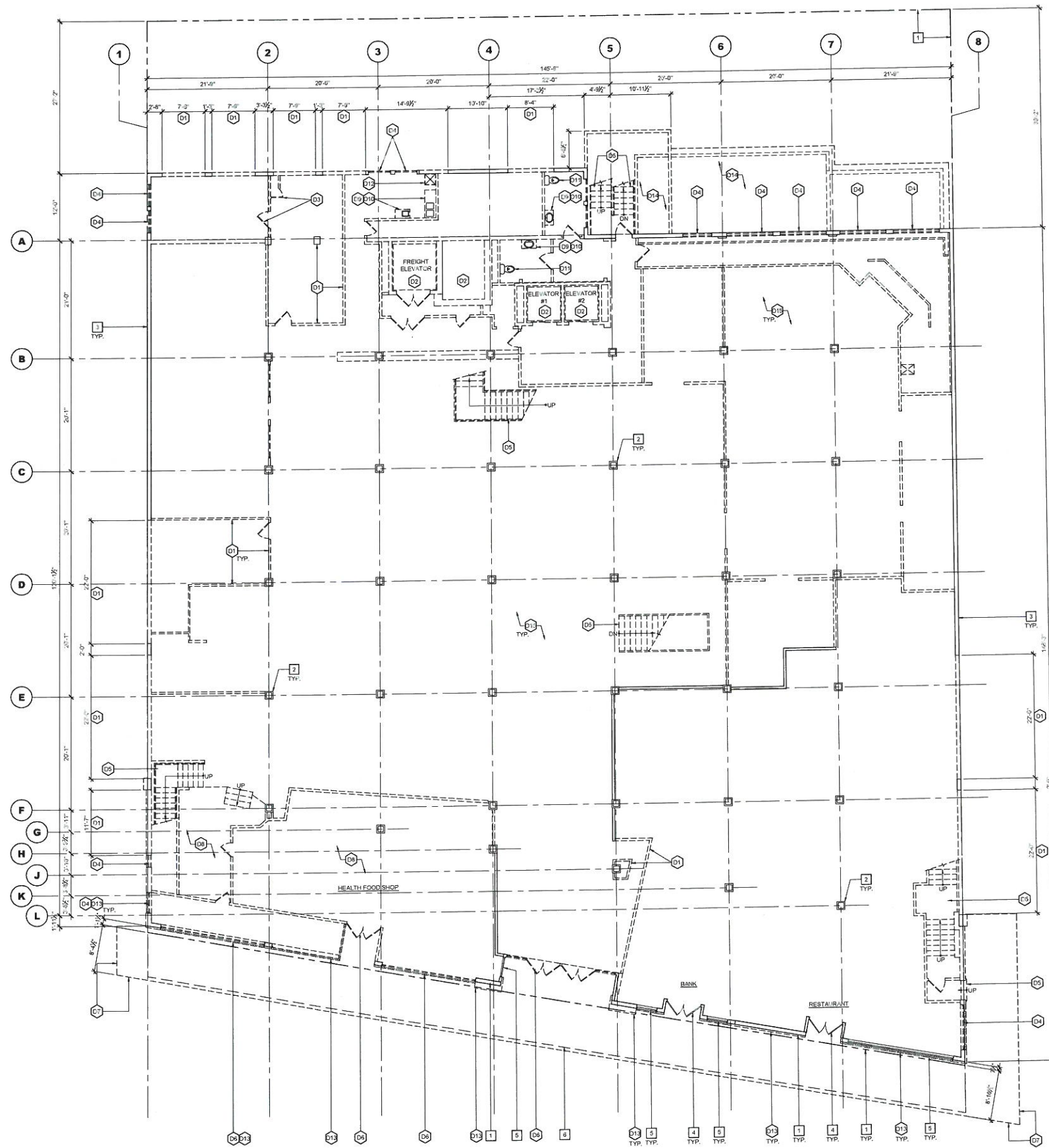
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006-173-001
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PLAN
 TRUE NORTH
EXISTING CONDITIONS AND DEMOLITION FIRST FLOOR PLAN
 SCALE 1/8"=1'-0"

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 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT SYSTEM.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL OVERHANG.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY IN THIS AREA TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING COUNTER TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
 - D12 REMOVE AND LEGALLY DISPOSE OF EXISTING JANITOR SINK.
 - D13 REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D14 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF.
 - D15 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING IN THIS AREA.

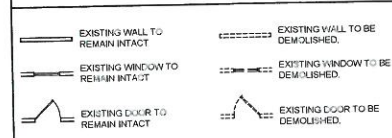
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 - 5 EXISTING WINDOW TO REMAIN INTACT - TYP. AS SHOWN.
 - 6 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BELOW.

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6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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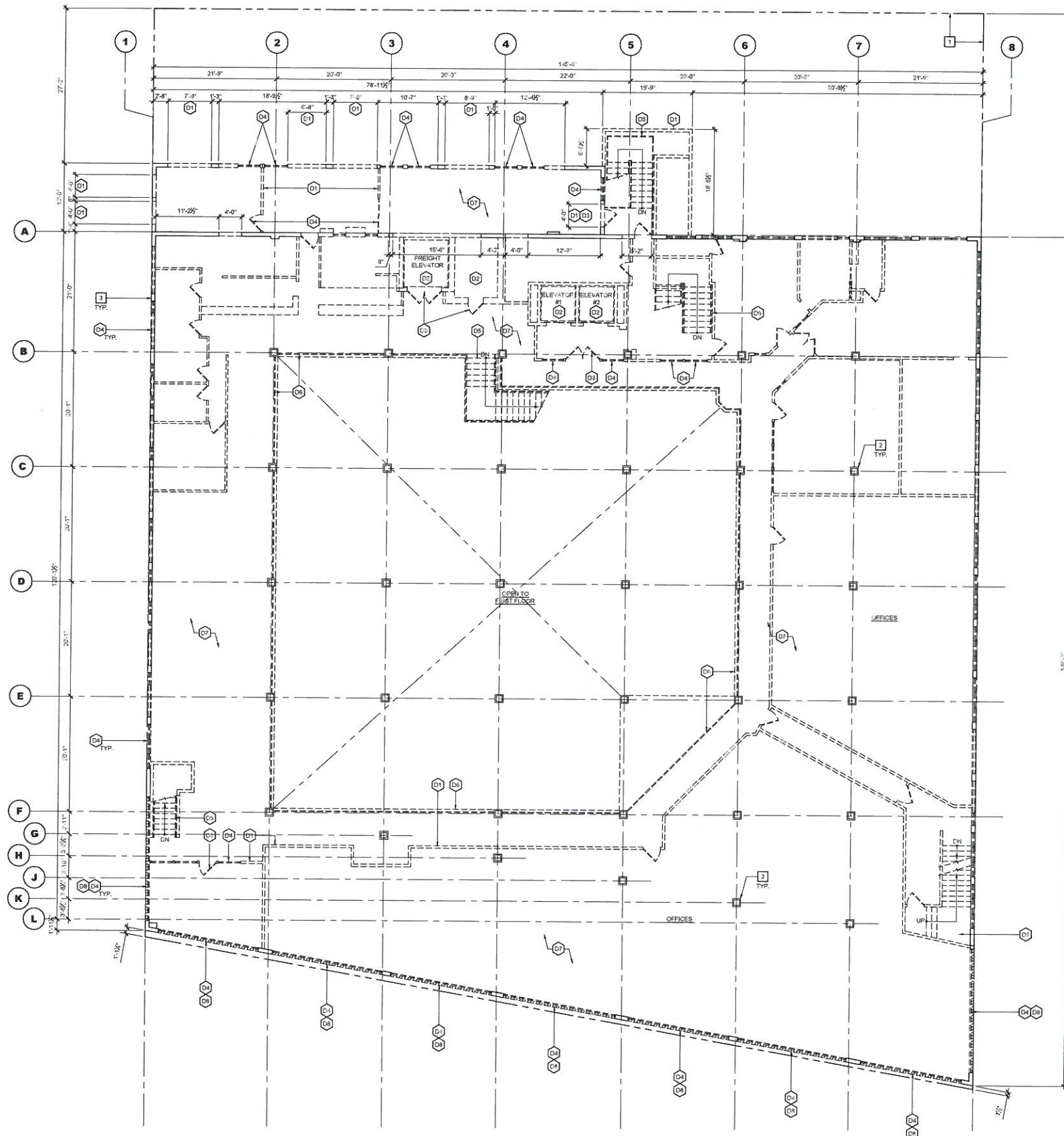
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DEMOLITION NOTES	
THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.	
(D1)	REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
(D2)	REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK. TYP. AS SHOWN.
(D3)	REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
(D4)	REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
(D5)	REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
(D6)	REMOVE AND LEGALLY DISPOSE OF EXISTING RAILING.
(D7)	REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING IN THIS AREA TO ACCOMMODATE NEW WORK.
(D8)	REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENING TO ACCOMMODATE NEW WORK.

KEY NOTES	
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.	
1	PROPERTY LINE.
2	EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
3	EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.
4	EXISTING DOOR TO REMAIN INTACT - TYP. AS SHOWN.
5	EXISTING WINDOW TO REMAIN INTACT - TYP. AS SHOWN.
6	-

GENERAL NOTES	
1.	CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
2.	CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
3.	CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4.	CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5.	CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6.	AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7.	DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8.	REMOVE TO SQUARE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9.	GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
10.	CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.) ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL, VENTILATION, HEATING AND/OR COOLING SYSTEMS ARE PROVIDED TO ALL EXISTING TENANTS IN THE BUILDING WHERE WORK WILL OCCUR (AS WELL AS IN BUILDING WHERE WORK WILL NOT OCCUR).
11.	CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE BUSINESS THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION WITH BUILDING OWNER PRIOR TO WORK.

LEGEND			
	EXISTING WALL TO REMAIN INTACT		EXISTING WALL TO BE DEMOLISHED.
	EXISTING WINDOW TO REMAIN INTACT		EXISTING WINDOW TO BE DEMOLISHED.
	EXISTING DOOR TO REMAIN INTACT		EXISTING DOOR TO BE DEMOLISHED.

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8a

GENERAL CONTRACTOR

DEVELOPER

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146

PRINT DATE
8.7.2015

PLOT DATE
8.7.2015

DRAWN BY
AGL/JR

CHECKED BY
KTHR

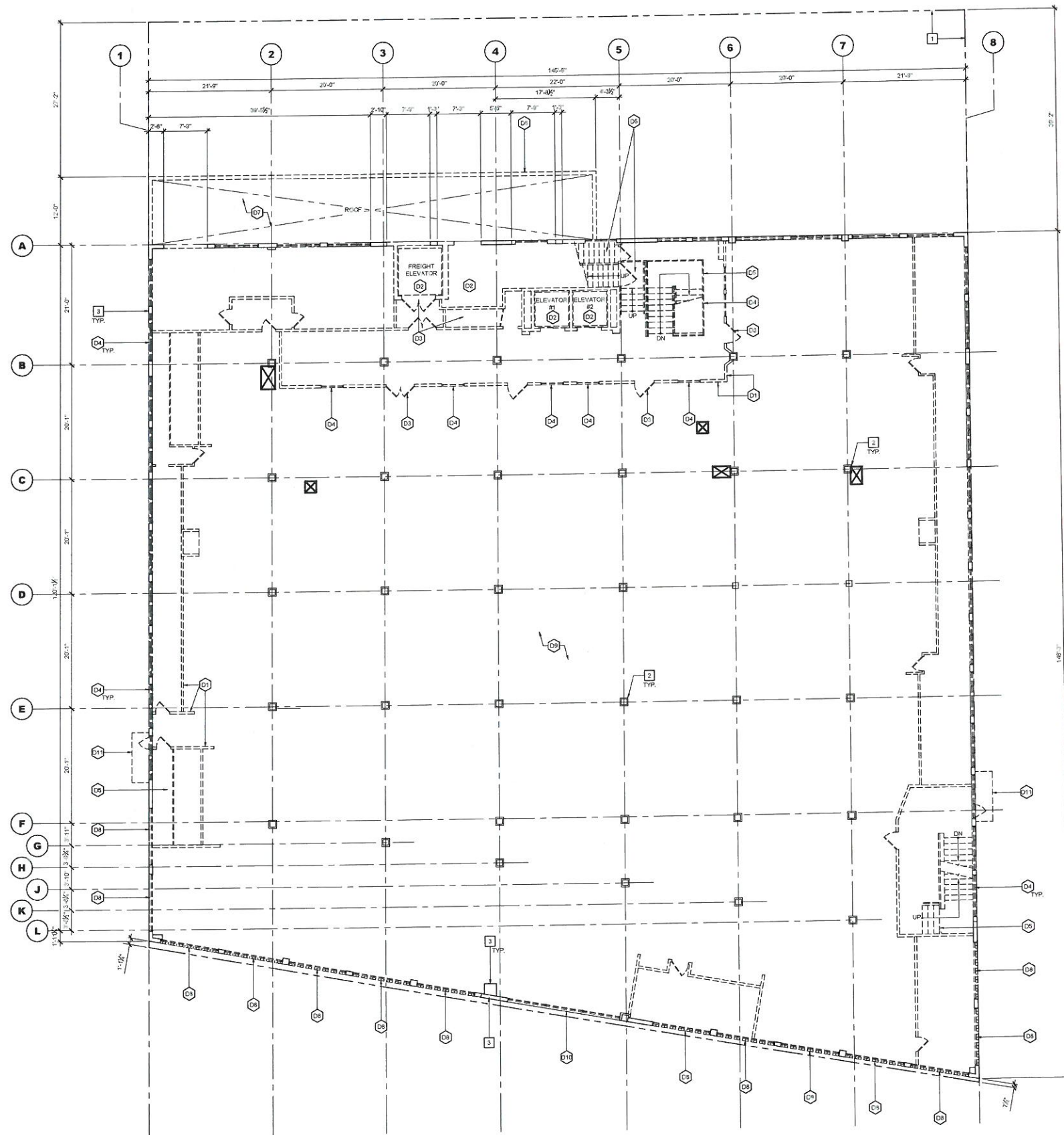
SET ISSUED

A.P.N.: 006-173-001

SHEET NAME
DEMOLITION SECOND FLOOR PLAN

SHEET NO.
D202

FILE NAME: 14146.DWG



PLAN TRUE NORTH
EXISTING CONDITIONS AND DEMOLITION THIRD FLOOR PLAN
 SCALE: 1/8"=1'-0"

DEMOLITION NOTES

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- (D1) REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP, BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
 - (D2) REMOVE & LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - (D3) REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
 - (D4) REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
 - (D5) REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - (D6) REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF PARAPET WALL.
 - (D7) REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFING.
 - (D8) REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENINGS TO ACCOMMODATE NEW WORK.
 - (D9) REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING FINISH IN THIS AREA TO ACCOMMODATE NEW WORK.
 - (D10) REMOVE AND LEGALLY DISPOSE OF EXISTING BUTTERFLY STAINED GLASS WINDOW.
 - (D11) REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.

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THE USE OF THE PLANING SPECIFICATION IN THIS DRAWING IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

GENERAL CONTRACTOR

 DEVELOPER

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- (1) PROPERTY LINE.
 - (2) EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
 - (3) EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.
 - (4) NOT USED.
 - (5) EXISTING ARCHED WINDOW TO REMAIN INTACT - TYP. AS SHOWN.
 - (6) -

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHES AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
5. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
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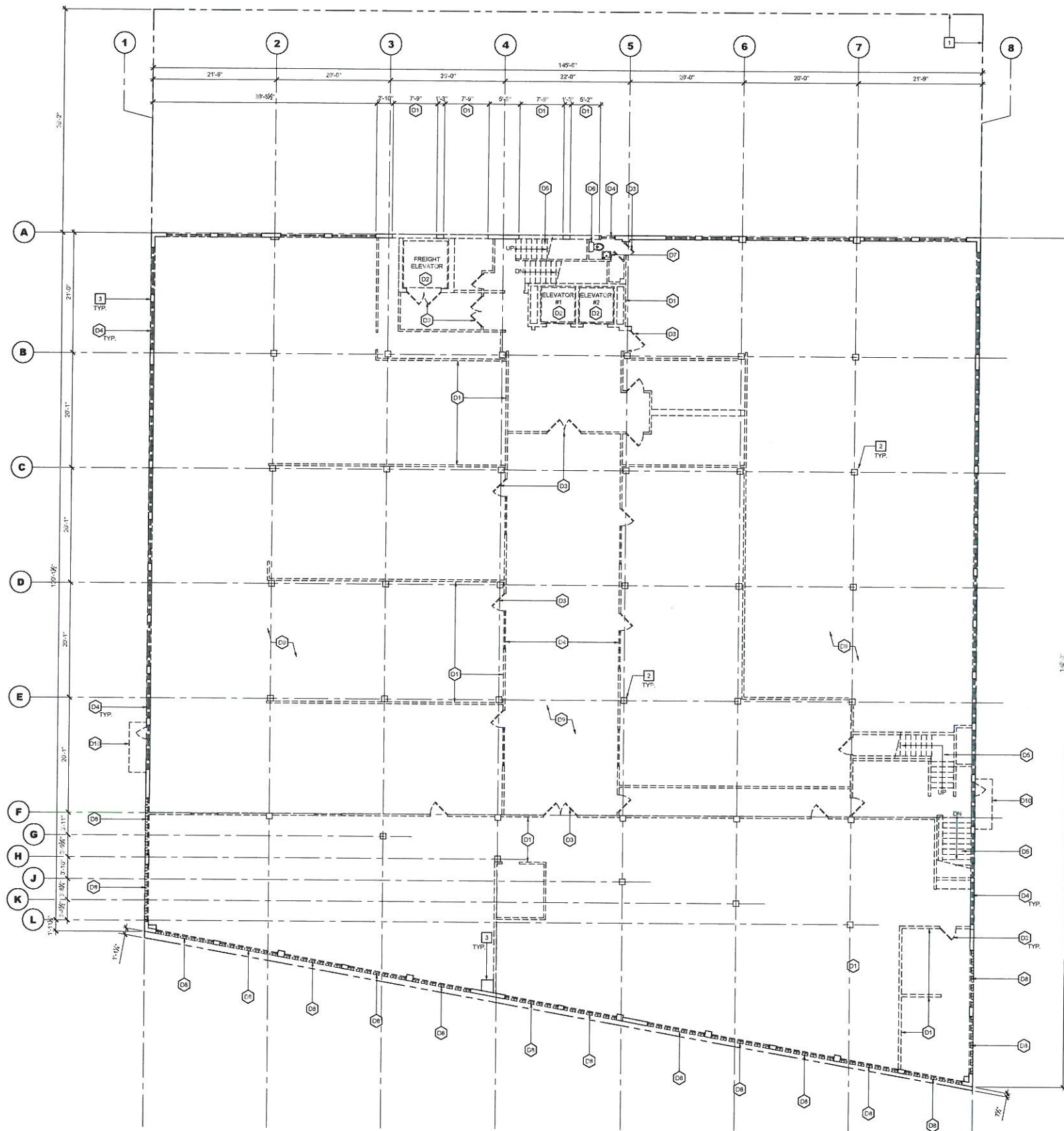
LEGEND

- EXISTING WALL TO REMAIN INTACT
- EXISTING WALL TO BE DEMOLISHED.
- EXISTING WINDOW TO REMAIN INTACT
- EXISTING WINDOW TO BE DEMOLISHED.
- EXISTING DOOR TO REMAIN INTACT
- EXISTING DOOR TO BE DEMOLISHED.

THE HOLMAN BUILDING

JOB NO.
14146
 PRINT DATE
 8.7.2015
 DRAWN BY
 AGL/J
 CHECKED BY
 KTH/R
 SET ISSUED

SHEET NAME
DEMOLITION THIRD FLOOR PLAN
 SHEET NO.
D203
 FILE NAME: 16162015



TRUE PLAN NORTH
EXISTING CONDITIONS AND DEMOLITION FOURTH FLOOR PLAN
 SCALE 1/8"=1'-0"

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPURTENANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
- D6 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D7 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL HUNG SINK TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING GLASS BLOCK AT EXISTING WINDOW OPENING TO ACCOMMODATE NEW WORK.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING FLOORING FINISH IN THIS AREA TO ACCOMMODATE NEW WORK.
- D10 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 PROPERTY LINE.
- 2 EXISTING COLUMN TO REMAIN INTACT - TYP. AS SHOWN.
- 3 EXISTING WALL TO REMAIN INTACT - TYP. AS SHOWN.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
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3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH TENANT AND/OR OWNER PRIOR TO STARTING WORK.
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6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
7. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
9. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
10. CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.), ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS ARE PROVIDED TO ALL EXISTING TENANTS IN THE BUILDING WHERE WORK WILL OCCUR (AS WELL AS IN BUILDING WHERE WORK WILL NOT OCCUR).
11. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO THE BUSINESS THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION WITH BUILDING OWNER PRIOR TO WORK.

LEGEND

EXISTING WALL TO REMAIN INTACT	EXISTING WALL TO BE DEMOLISHED.
EXISTING WINDOW TO REMAIN INTACT	EXISTING WINDOW TO BE DEMOLISHED.
EXISTING DOOR TO REMAIN INTACT	EXISTING DOOR TO BE DEMOLISHED.

GENERAL CONTRACTOR

 DEVELOPER

JOB NO.
14146

PRINT DATE
8.7.2015

PLOT DATE
AGL/SL

DESIGN BY
KTH/R

CHECKED BY
SET ISSUED

SHEET NAME
DEMOLITION FOURTH FLOOR PLAN

SHEET NO.
D204

FILE NAME
14146.DWG

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

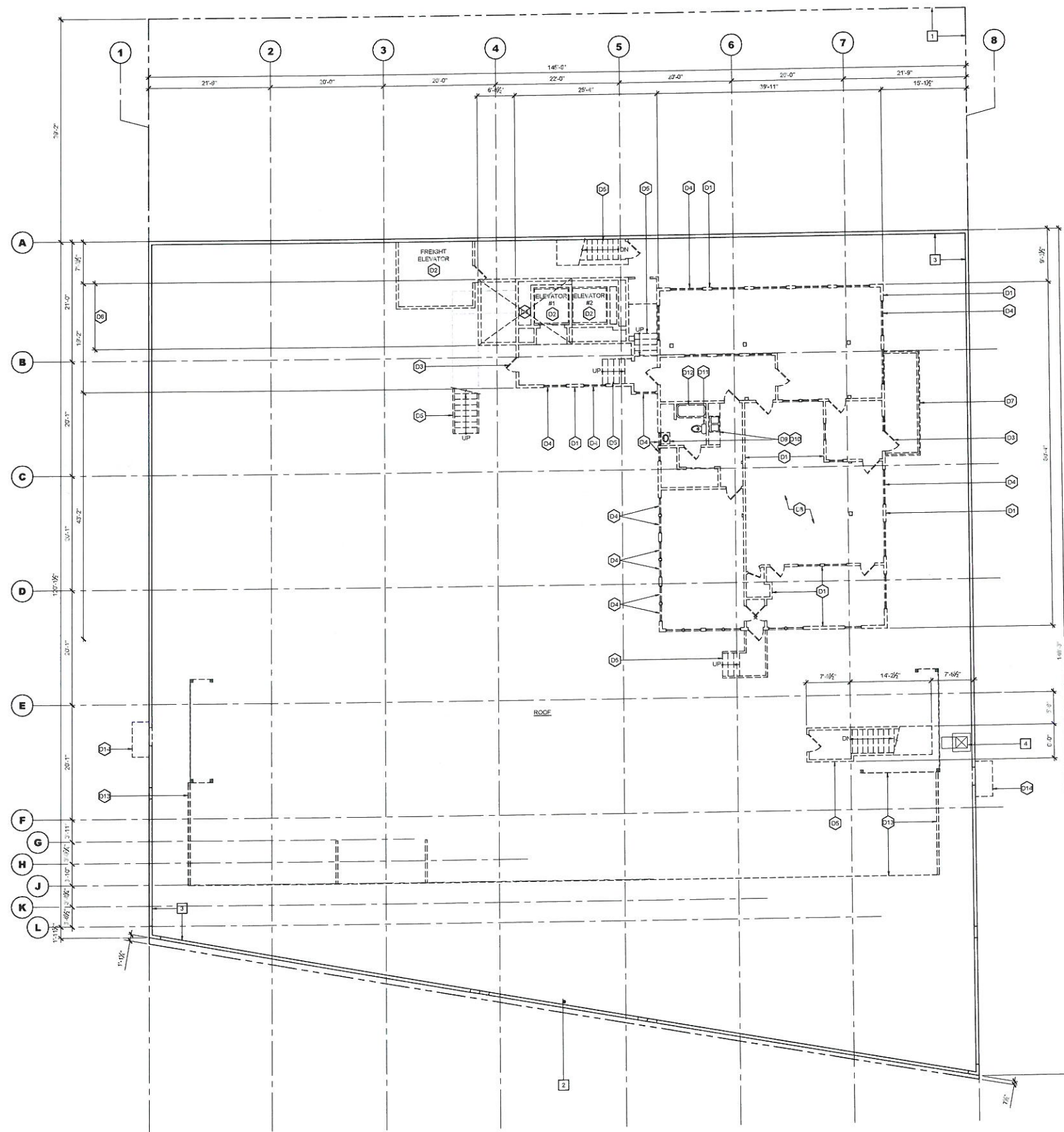
A.P.N.: 005-173-001

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PLAN NORTH
 TRUE NORTH
EXISTING CONDITIONS AND DEMOLITION ROOF/ PENTHOUSE FLOOR PLAN
 SCALE 1/8" = 1'-0"

DEMOLITION NOTES

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWINGS ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL INCLUDING BUT NOT LIMITED TO GYP. BOARD, STUDS, AND BASE TO ACCOMMODATE NEW WORK.
 - D2 REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND RELATED ELEVATOR APPLIANCES TO ACCOMMODATE NEW WORK - TYP. AS SHOWN.
 - D3 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR AND DOOR FRAME.
 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING STAIRS.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING COMMUNICATION TOWER ABOVE.
 - D7 REMOVE AND LEGALLY DISPOSE OF EXISTING WOOD DECK.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING RAISED WOOD FRAMED FLOORING ASSEMBLY TO ACCOMMODATE NEW WORK.
 - D9 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING LOWER CABINETS & UPPER SHELVING.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING SINK.
 - D11 REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET.
 - D12 REMOVE AND LEGALLY DISPOSE OF EXISTING BATH-TUB.
 - D13 REMOVE & LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
 - D14 REMOVE & LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS.

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWINGS ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 PROPERTY LINE.
 - 2 EXISTING FLAG POLE TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - 3 EXISTING ROOF PARAPET WALL.
 - 4 EXISTING ROOFTOP MECHANICAL EQUIPMENT.

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
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8. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
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LEGEND

- | | |
|----------------------------------|-----------------------------------|
| EXISTING WALL TO REMAIN INTACT | EXISTING WALL TO BE DEMOLISHED. |
| EXISTING WINDOW TO REMAIN INTACT | EXISTING WINDOW TO BE DEMOLISHED. |
| EXISTING DOOR TO REMAIN INTACT | EXISTING DOOR TO BE DEMOLISHED. |

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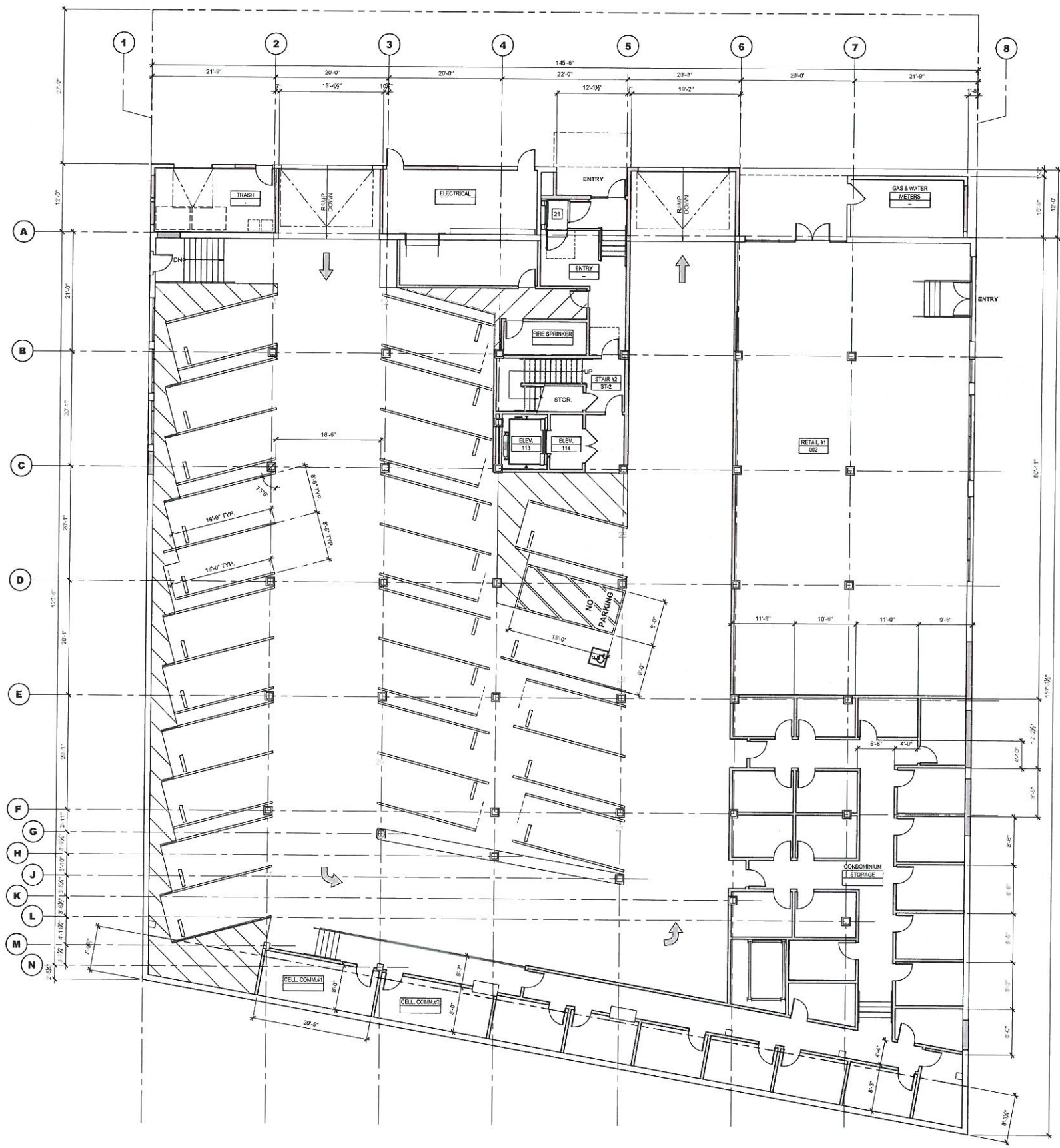
GENERAL CONTRACTOR

 DEVELOPER

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 A.P.N. 006-173-001

JOB NO.
14146
 PRINT DATE
 PLOT DATE 8.7.2015
 DRAWN BY AGUA
 CHECKED BY KTHAR
 SET ISSUED

SHEET NAME
DEMO. ROOF/ PENTHOUSE FLOOR PLAN
 SHEET NO.
D205



TRUE PLAN NORTH
BASEMENT FLOOR PLAN
 SCALE 1/8"=1'-0"

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GENERAL CONTRACTOR

 DEVELOPER

006-173-001
 A.P.N.

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO.
14146

PRINT DATE
 8.7.2015

DRAWN BY
 AGL/JA

CHECKED BY
 KTH/R

SET ISSUED

SHEET NAME
BASEMENT FLOOR PLAN

SHEET NO.
A200

FILE NAME
 14146-A200

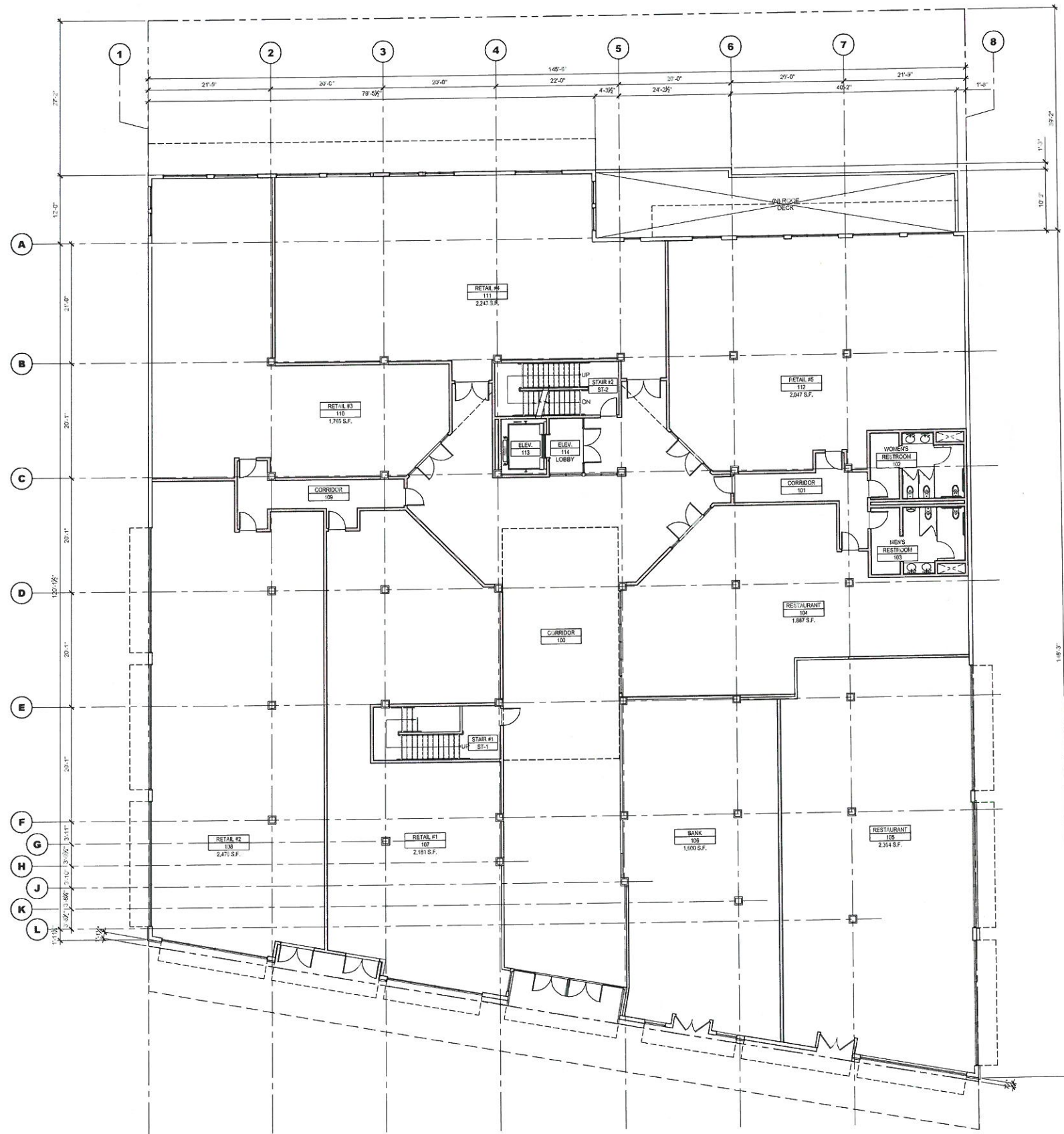
KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 11 INDICATES EXISTING PROPERTY LINE.
- 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
- 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
- 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
- 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
- 6 EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
- 7 INDICATES NEW WALL.
- 8 INDICATES NEW DOOR.
- 9 INDICATES NEW WINDOW.
- 10 NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
- 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
- 12 NEW STAIRS.
- 13 NEW HANDRAIL.
- 14 NEW AWNING ABOVE.
- 15 NEW CONCRETE ACCESSIBLE RAMP.
- 16 NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
- 17 NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
- 18 NEW 4' WIDE PAINTED PARKING STALL STRIPING PER CITY OF PACIFIC GROVE STANDARDS.
- 19 NEW TRASH / RECYCLING ENCLOSURE.
- 20 INFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
- 21 NEW STAIR LIFT.

LEGEND

<p> EXISTING WALL TO REMAIN INTACT</p> <p> NEW WALL</p> <p> EXISTING WINDOW</p> <p> NEW WINDOW</p>	<p> NEW OR RELOCATED DOOR - SEE DOOR SCHEDULE</p> <p> EXISTING DOOR TO REMAIN INTACT</p>
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PLAN
 TRUE NORTH
FIRST FLOOR PLAN
 SCALE 1/8"=1'-0"

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWINGS ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 INDICATES EXISTING PROPERTY LINE.
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 - 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
 - 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
 - 6 EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
 - 7 INDICATES NEW WALL.
 - 8 INDICATES NEW DOOR.
 - 9 INDICATES NEW WINDOW.
 - 10 NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
 - 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
 - 12 NEW STAIRS.
 - 13 NEW HANDRAIL.
 - 14 NEW AWNING ABOVE.
 - 15 NEW CONCRETE ACCESSIBLE RAMP.
 - 16 NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 17 NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 18 NEW 4" WIDE PAINTED PARKING STALL STRIPING PER CITY OF PACIFIC GROVE STANDARDS.
 - 19 NEW TRASH / RECYCLE ENCLOSURE.
 - 20 REFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
 - 21 NEW STAIR LIFT.

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WR&D
WALD RUFHNE & DOST
ARCHITECTS LLP
 2340 GARDEN ROAD, SUITE 100
 MONTEREY, CALIFORNIA 93940
 PHONE 831.648.4542
 FAX 831.648.3570
 WWW.WR&DARCH.COM

THE USE OF THE PLAN AND SPECIFICATIONS IS LIMITED TO THE ORIGINAL AND APPROVED PROJECT. ANY REVISIONS OR MODIFICATIONS TO THE ORIGINAL DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES.

GENERAL CONTRACTOR:

 DEVELOPER:

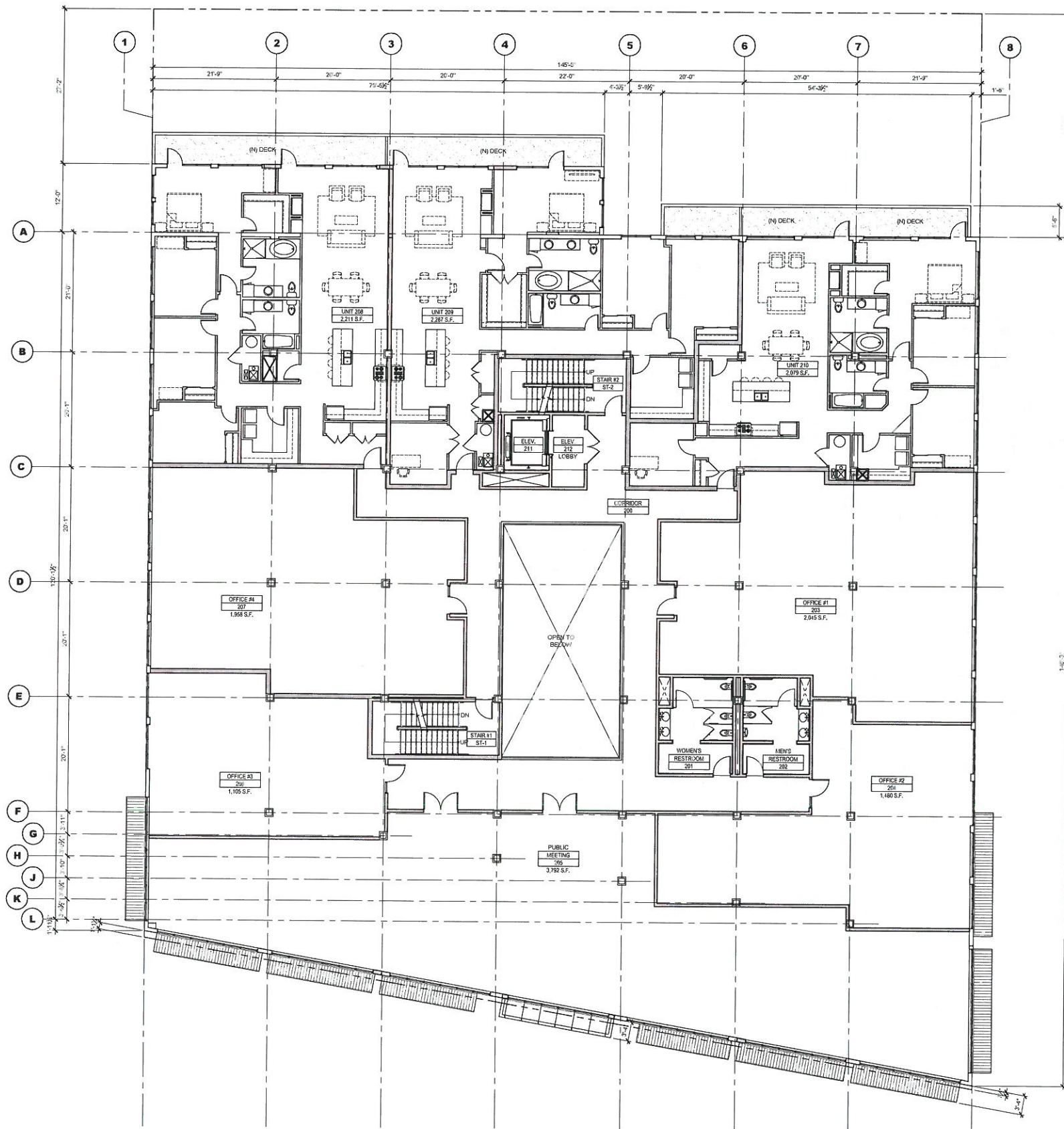
THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950
 A.P.N.: 006-173-001

JOB NO. 14146
 PRINT DATE
 PLOT DATE 8.7.2015
 DRAWN BY AGUJI
 CHECKED BY KTHRR
 SET ISSUED

LEGEND

- | | | | |
|--|--------------------------------|--|---|
| | EXISTING WALL TO REMAIN INTACT | | NEW OR RELOCATED DOOR - SEE DOOR SCHEDULE |
| | NEW WALL | | EXISTING DOOR TO REMAIN INTACT |
| | EXISTING WINDOW | | |
| | NEW WINDOW | | |

SHEET NAME
FIRST FLOOR PLAN
 SHEET NO.
A201
 FILE NAME: 14146-A201



TRUE PLAN NORTH
SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

- KEY NOTES**
- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 INDICATES EXISTING PROPERTY LINE.
 - 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
 - 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
 - 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
 - 6 EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
 - 7 INDICATES NEW WALL.
 - 8 INDICATES NEW DOOR.
 - 9 INDICATES NEW WINDOW.
 - 10 NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
 - 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
 - 12 NEW STAIRS.
 - 13 NEW HANDRAIL.
 - 14 NEW FINISH ABOVE.
 - 15 NEW CONCRETE ACCESSIBLE RAMP.
 - 16 NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 17 NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 18 NEW 4' WIDE PAINTED PARKING STALL STRIPING PER CITY OF PACIFIC GROVE STANDARDS.
 - 19 NEW TRASH / RECYCLE ENCLOSURE.
 - 20 INFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
 - 21 NEW STAIR LIFT.

- LEGEND**
- | | |
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WR&D
WALD RUIHNKE & DOST ARCHITECTS LLP
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 MONTEREY, CALIFORNIA 93940
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 FAX: 831.643.3530
 WWW.WR&DARCH.COM

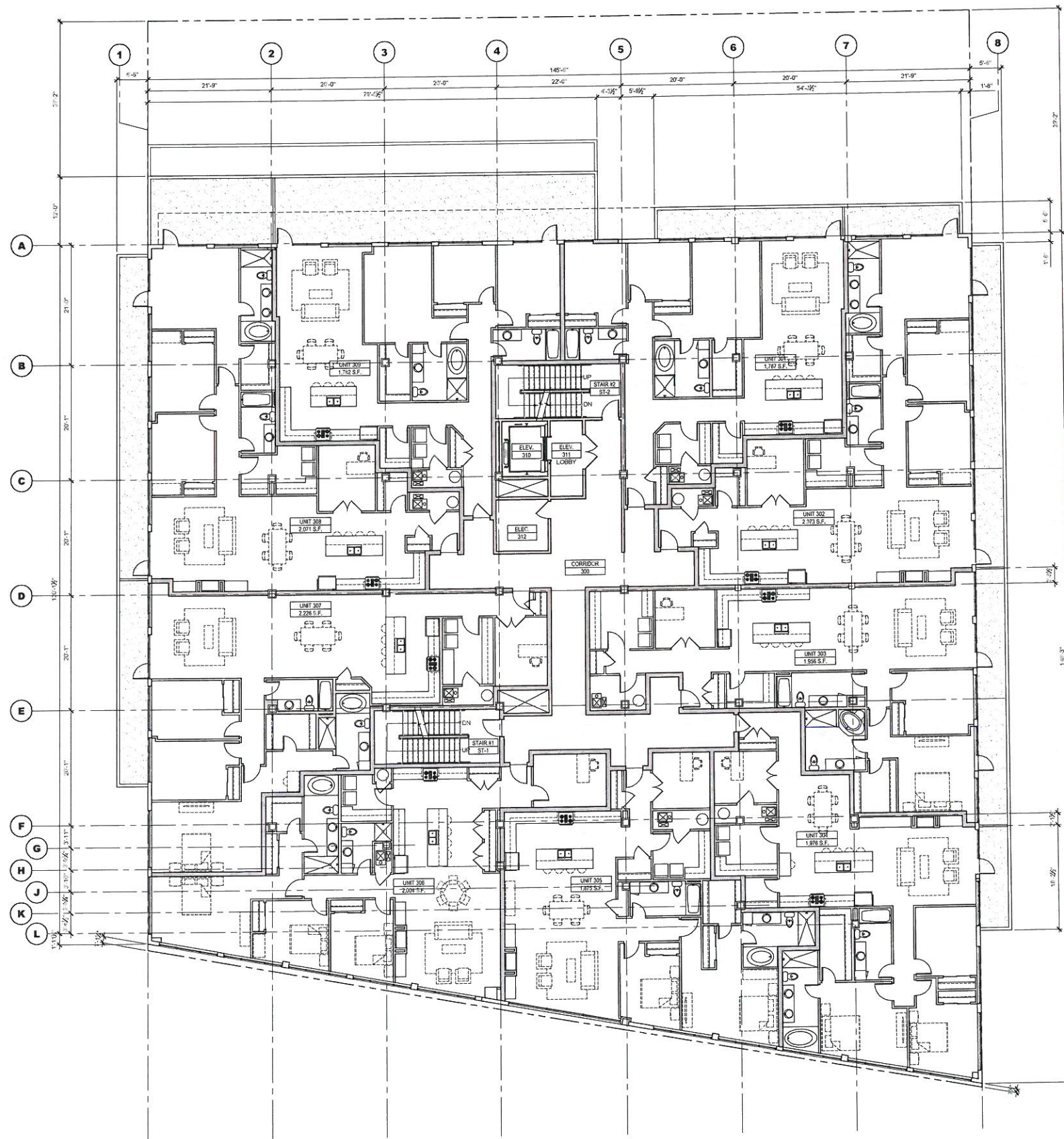
GENERAL CONTRACTOR

 DEVELOPER

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO:
14146
 PRINT DATE: 8.7.2015
 DRAWN BY: AGUA
 CHECKED BY: KTHH
 SET ISSUED

SHEET NAME:
SECOND FLOOR PLAN
 SHEET NO.:
A202



TRUE PLAN NORTH
THIRD FLOOR PLAN
 SCALE 1/8"=1'-0"

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THESE DRAWINGS.
- 1 INDICATES EXISTING PROPERTY LINE.
 - 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
 - 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
 - 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
 - 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
 - 6 EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
 - 7 INDICATES NEW WALL.
 - 8 INDICATES NEW DOOR.
 - 9 INDICATES NEW WINDOW.
 - 10 NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
 - 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
 - 12 NEW STAIRS.
 - 13 NEW HANDRAIL.
 - 14 NEW AWNING ABOVE.
 - 15 NEW CONCRETE ACCESSIBLE RAMP.
 - 16 NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 17 NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
 - 18 NEW 8" WIDE PAINTED PARKING STALL STRIP(S) PER CITY OF PACIFIC GROVE STANDARDS.
 - 19 NEW TRASH/RECYCLE ENCLOSURE.
 - 20 INFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
 - 21 NEW STAIR LIFT.

THE USE OF THE PLANING AND SPECIFICATIONS
 REFERENCE TO THE SPECIFICATIONS FOR FINISHES
 IS TO BE UNDERSTOOD AS REFERENCE TO THE
 MOST RECENT EDITION OF THE SPECIFICATIONS FOR
 FINISHES AS PUBLISHED BY THE ASSOCIATION OF
 GENERAL CONTRACTORS OF CALIFORNIA. THE
 USER SHALL BE RESPONSIBLE FOR OBTAINING THE
 MOST RECENT EDITION OF THE SPECIFICATIONS
 AND FOR OBTAINING THE NECESSARY PERMITS
 AND APPROVALS FROM THE LOCAL AUTHORITIES.
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 FOR OBTAINING THE NECESSARY PERMITS AND
 APPROVALS FROM THE LOCAL AUTHORITIES.

GENERAL CONTRACTOR

 DEVELOPER

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 95050

JOB NO.
14146
 PRINT DATE
 PLOT DATE: 8.7.2015
 DRAWN BY: ADL/JI
 CHECKED BY: KTH/R
 SET ISSUED

LEGEND

- | | | | |
|--|--------------------------------|--|---|
| | EXISTING WALL TO REMAIN INTACT | | NEW OR RELOCATED DOOR - SEE DOOR SCHEDULE |
| | NEW WALL | | EXISTING DOOR TO REMAIN INTACT |
| | EXISTING WINDOW | | |
| | NEW WINDOW | | |

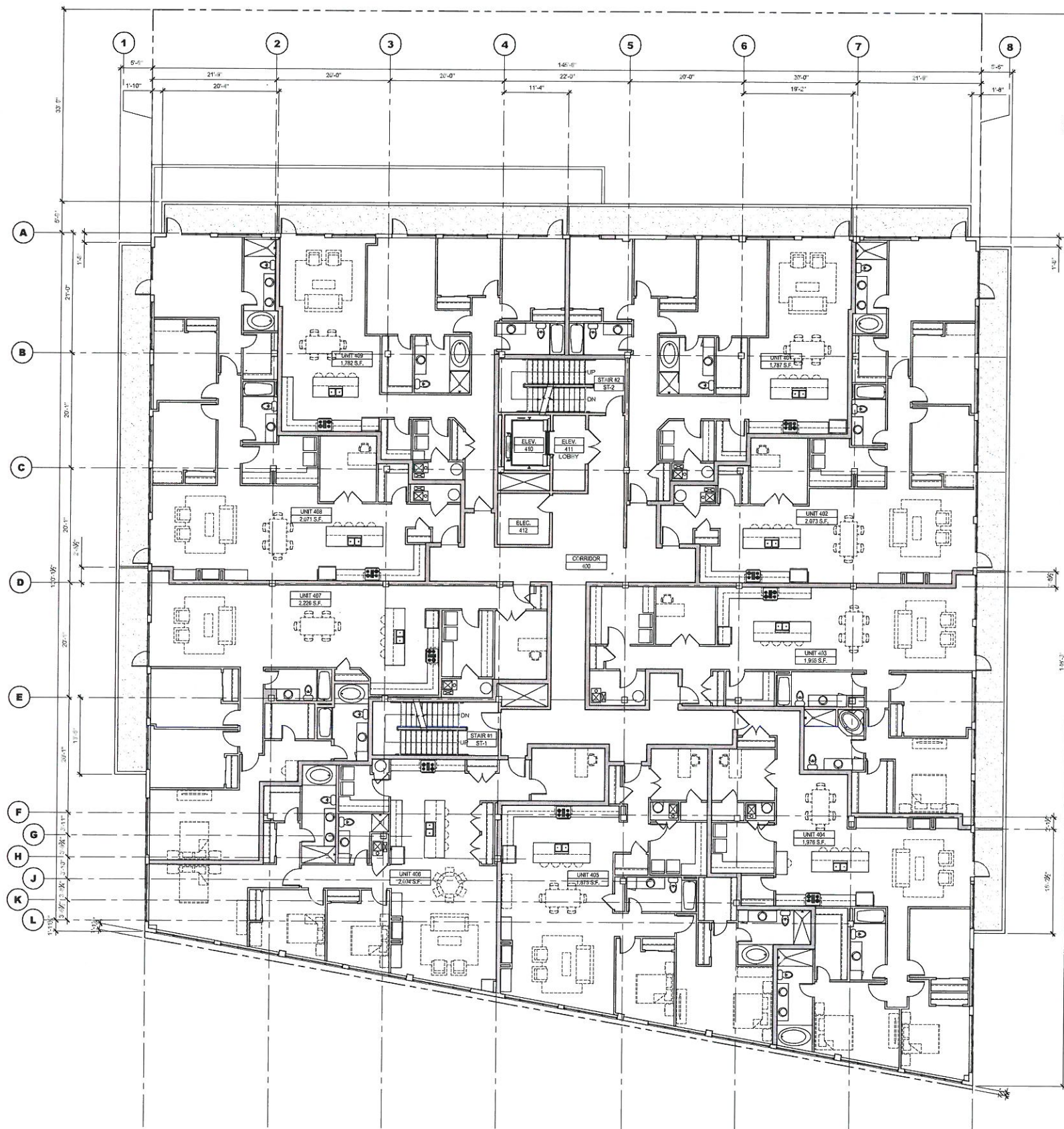
SHEET NAME
THIRD FLOOR PLAN
 SHEET NO.
A203

FILE NAME: 14164303



2340 GARDEN ROAD, SUITE 100
 MONTEREY, CALIFORNIA 93940
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 WWW.WR&DARCH.COM

A.P.N.: 065-173-001



PLAN
TRUE NORTH
FOURTH FLOOR PLAN
SCALE 1/8"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 INDICATES EXISTING PROPERTY LINE.
- 2 INDICATES EXISTING STRUCTURAL COLUMN TO REMAIN INTACT. TYP. AS SHOWN.
- 3 INDICATES EXISTING WALL TO REMAIN INTACT. TYP. AS SHOWN.
- 4 INDICATES EXISTING DOOR TO REMAIN INTACT. TYP. AS SHOWN.
- 5 INDICATES EXISTING WINDOW TO REMAIN INTACT. TYP. AS SHOWN.
- 6 EXISTING CONCRETE PARKING LOT AND/OR DRIVEWAY.
- 7 INDICATES NEW WALL.
- 8 INDICATES NEW DOOR.
- 9 INDICATES NEW WINDOW.
- 10 NEW ALUMINUM STOREFRONT DOOR TO MATCH EXISTING.
- 11 NEW ALUMINUM STOREFRONT WINDOW TO MATCH EXISTING.
- 12 NEW STAIRS.
- 13 NEW HANDRAIL.
- 14 NEW AWNING ABOVE.
- 15 NEW CONCRETE ACCESSIBLE RAMP.
- 16 NEW VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE.
- 17 NEW STANDARD ACCESSIBLE PARKING STALL AND ACCESS AISLE.
- 18 NEW 4' WIDE PAINTED PARKING STALL STRIPING PER CITY OF PACIFIC GROVE STANDARDS.
- 19 NEW TRASH / RECYCLE ENCLOSURE.
- 20 INFILL EXISTING OPENINGS. MATCH ADJACENT WALL FINISH.
- 21 NEW STAIR LIFT.

LEGEND

<ul style="list-style-type: none"> EXISTING WALL TO REMAIN INTACT NEW WALL EXISTING WINDOW NEW WINDOW 	<ul style="list-style-type: none"> NEW OR RELOCATED DOOR - SEE DOOR SCHEDULE EXISTING DOOR TO REMAIN INTACT
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GENERAL CONTRACTOR

DEVELOPER

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO: **14146**
PRINT DATE: 8.7.2015
DRAWN BY: A3/JJR
CHECKED BY: KTHR
SET ISSUED

SHEET NAME:
FOURTH FLOOR PLAN

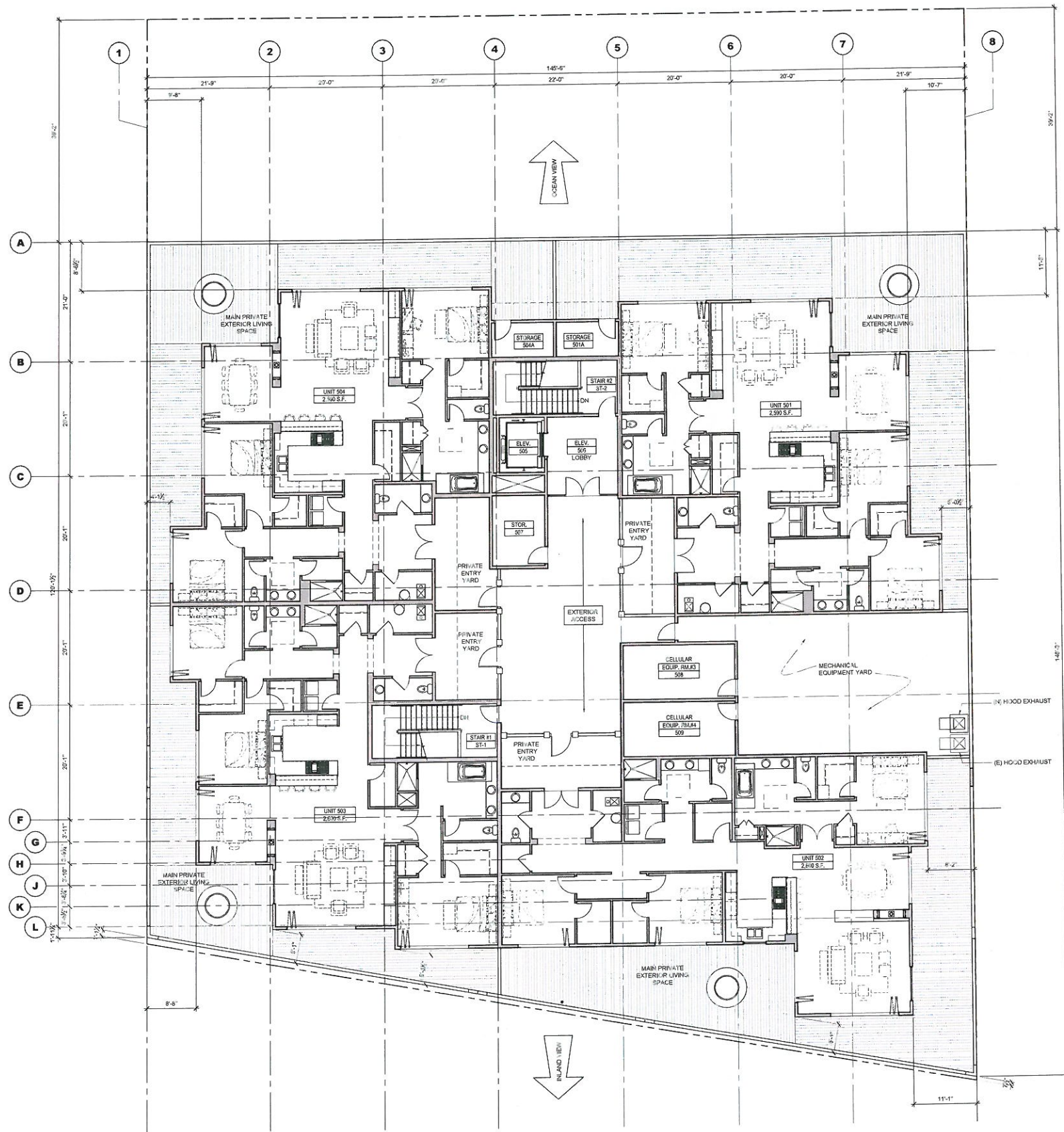
SHEET NO:
A204

FILE NAME: 1016-001

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WALD RUIHNKE & DOST
ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
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WWW.WR&DARCH.COM



TRUE NORTH
 PLAN NORTH
ROOF/ PENTHOUSE FLOOR PLAN
 SCALE 1/8"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THESE DRAWINGS.

THE USE OF THE PLANS AND SPECIFICATIONS IS LIMITED TO THE ORIGINAL USE AND WHEN THE PROJECT IS REPRODUCED, ANY AND ALL CHANGES MUST BE MADE TO THE ORIGINAL DRAWINGS BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PARTY.

LEGEND

	EXISTING WALL TO REMAIN INTACT		NEW OR RELOCATED DOOR - SEE DOOR SCHEDULE
	NEW WALL		EXISTING DOOR TO REMAIN INTACT
	EXISTING WINDOW		
	NEW WINDOW		

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GENERAL CONTRACTOR

DEVELOPER

THE HOLMAN BUILDING
 450 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO.
14146

PRINT DATE
 8.7.2015

DRAWN BY
 A/LIA

CHECKED BY
 K/THR

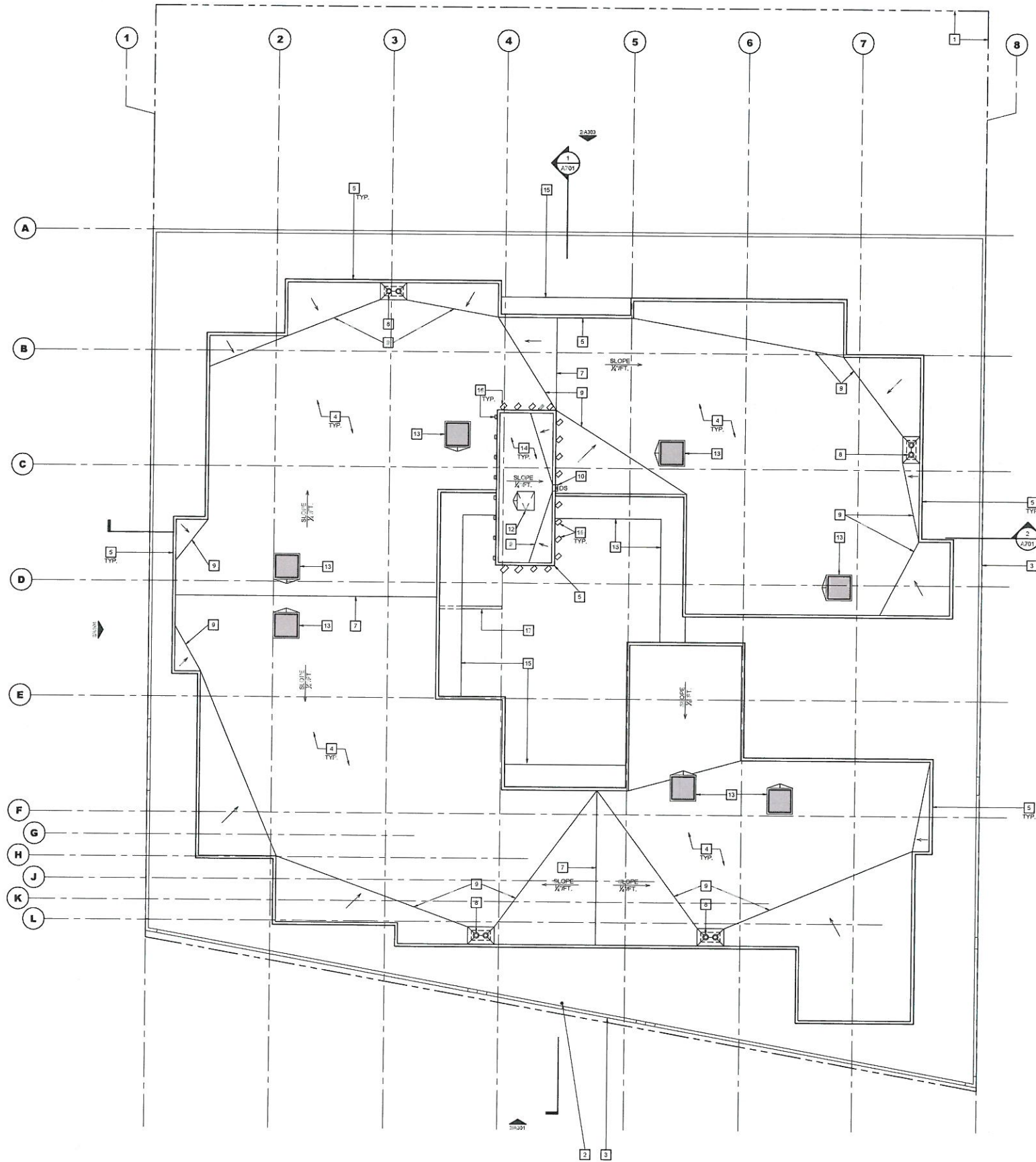
SET ISSUED

A.P.N.: 005-173-001

SHEET NAME
ROOF/ PENTHOUSE FLOOR PLAN

SHEET NO.
A205

FILE NAME: 14146-A205



PLAN
TRUE NORTH
ROOF PLAN
SCALE 1/8"=1'-0"

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THESE DRAWINGS.
- 1 INDICATES EXISTING PROPERTY LINE.
 - 2 INDICATES EXISTING FLAG POLE.
 - 3 INDICATES EXISTING PARAPET WALL AT PENTHOUSE/ROOF FLOOR BELOW.
 - 4 THERMOPLASTIC POLYOLEFIN (TPO) ROOF SYSTEM.
 - 5 INDICATES PARAPET.
 - 6 GALVANIZED ROOF ACCESS LADDER WITH RAILS.
 - 7 INDICATES LOW-SLOPE ROOF RIDGE LINE.
 - 8 ROOF DRAIN AND OVERFLOW.
 - 9 INDICATES CRICKET TO ROOF DRAIN.
 - 10 SCUPPER AT PARAPET.
 - 11 NOT USED.
 - 12 ROOF ACCESS HATCH.
 - 13 4X4 SKYLIGHT.
 - 14 ELEVATOR SHAFT LOCATION ABOVE ROOF.
 - 15 SUN SHADE.
 - 16 CELLULAR ANTENNA EQUIPMENT LOCATION.
 - 17 DIVIDER WALL BELOW.

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PHONE: 831.648.4642
FAX: 831.648.3530
WWW.WR&DARCH.COM

8a

GENERAL CONTRACTOR
GOLD COAST
DEVELOPER
MONTEREY

ROOF PLAN GENERAL NOTES

1. 1/4" FT. ROOF PITCH UNLESS OTHERWISE NOTED.

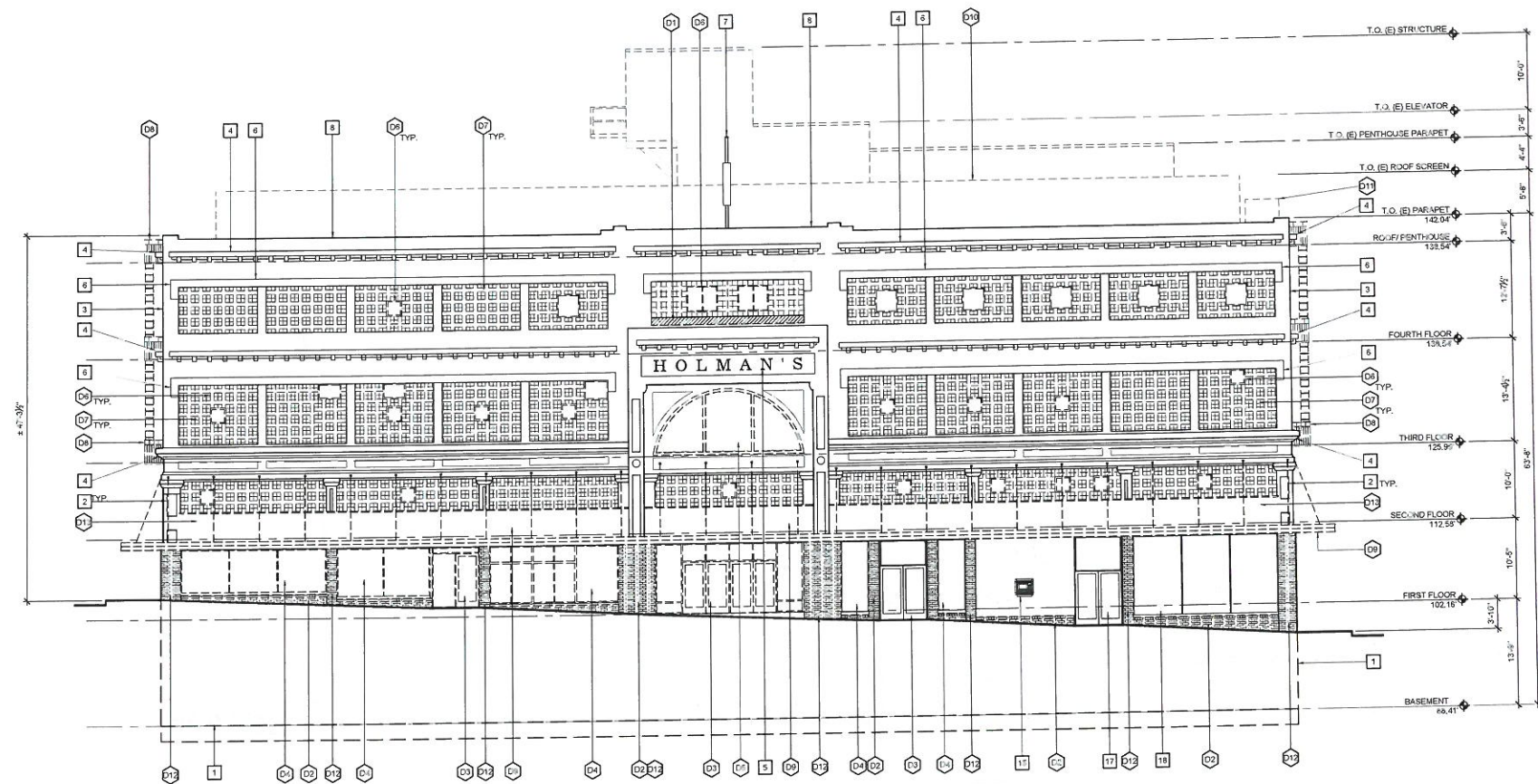
006-173-001
A.P.N.:
THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146-P
PRINT DATE
PLOT DATE: 8.20.2015
DRAWN BY: A/JL
CHECKED BY: KTR/R
SET ISSUED

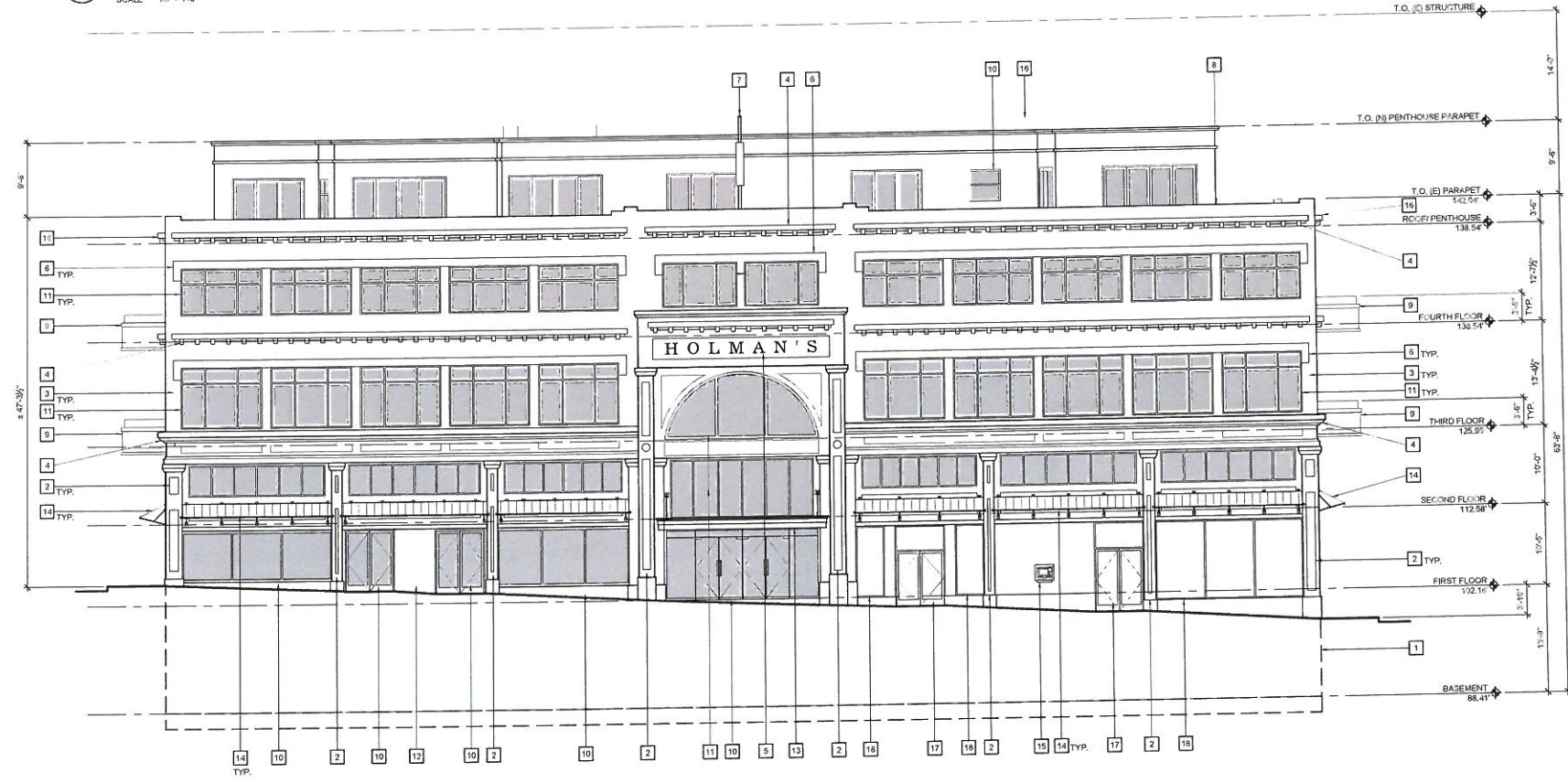
SHEET NAME
ROOF PLAN

SHEET NO.
A230

FILE NAME: 1416-A230



1 EXISTING/DEMOLITION SOUTH ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE 1/8" = 1'-0"

DEMOLITION NOTES

- 1. THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 2. REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
- 3. REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK. TYP. AS SHOWN.
- 4. REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
- 5. REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
- 6. REMOVE AND LEGALLY DISPOSE OF EXISTING BUTTERFLY STAINED GLASS WINDOW. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
- 7. REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW. TYP. AS SHOWN.
- 8. REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING. TYP. AS SHOWN.
- 9. REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS. TYP. AS SHOWN.
- 10. REMOVE AND LEGALLY DISPOSE OF EXISTING METAL FINISH SYSTEM.
- 11. REMOVE AND LEGALLY DISPOSE OF EXISTING 3'-0" HIGH ROOFTOP EQUIPMENT SCREEN.
- 12. REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
- 13. REMOVE AND LEGALLY DISPOSE OF EXISTING BRICK AT EXISTING COLUMN. REFURNISHED TO MATCH ORIGINAL.
- 14. REMOVE EXISTING EXTERIOR WALL FINISH AND REFURNISH TO MATCH ORIGINAL TRIM.

KEY NOTES

- 1. THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 2. DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND.
- 3. EXISTING DECORATIVE COLUMN TO BE REFURNISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 4. EXISTING WALL FINISH TO REMAIN. PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 5. EXISTING DECORATIVE WALL TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 6. EXISTING 'HOLMAN'S' LETTERING TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 7. EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 8. EXISTING FLAG POLE TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 9. EXISTING PARAPET WALL.
- 10. NEW BALCONY.
- 11. NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
- 12. NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
- 13. NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
- 14. NEW METAL FINISH.
- 15. NEW RETRACTABLE CANVAS AWNING.
- 16. EXISTING ATM MACHINE TO REMAIN. PROTECT FROM DAMAGE.
- 17. EXISTING STOREFRONT DOOR SYSTEM TO REMAIN. PROTECT FROM DAMAGE.
- 18. EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN. PROTECT FROM DAMAGE.

FINISH LEGEND

- (P-1) PAINT - FIELD - BENJAMIN MOORE - FLAT - WHITE DOWN 870
- (P-2) PAINT - ACCENT - BENJAMIN MOORE - FLAT - LA PALOMA GRAY 1551
- (P-3) PAINT - ACCENT - BENJAMIN MOORE - FLAT - CHELSEA GRAY HC-168
- (P-4) PAINT - ACCENT - BENJAMIN MOORE - FLAT - IRON MOUNTAIN 2134-10
- (AW-1) AWNING - SUNBRELLA - TRIVANTAGE - SLATE 4144-0300
- (WD-1) WINDOW - IPI - BRONZE

GENERAL CONTRACTOR
GOLDEN STATE CONSTRUCTION

DEVELOPER
MONTEREY

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146
PRINT DATE
PLOT DATE: 8.7.2015
DRAWN BY: JDL
CHECKED BY: KTHR
SET ISSUED

SHEET NAME
SOUTH ELEVATIONS

SHEET NO.

A301

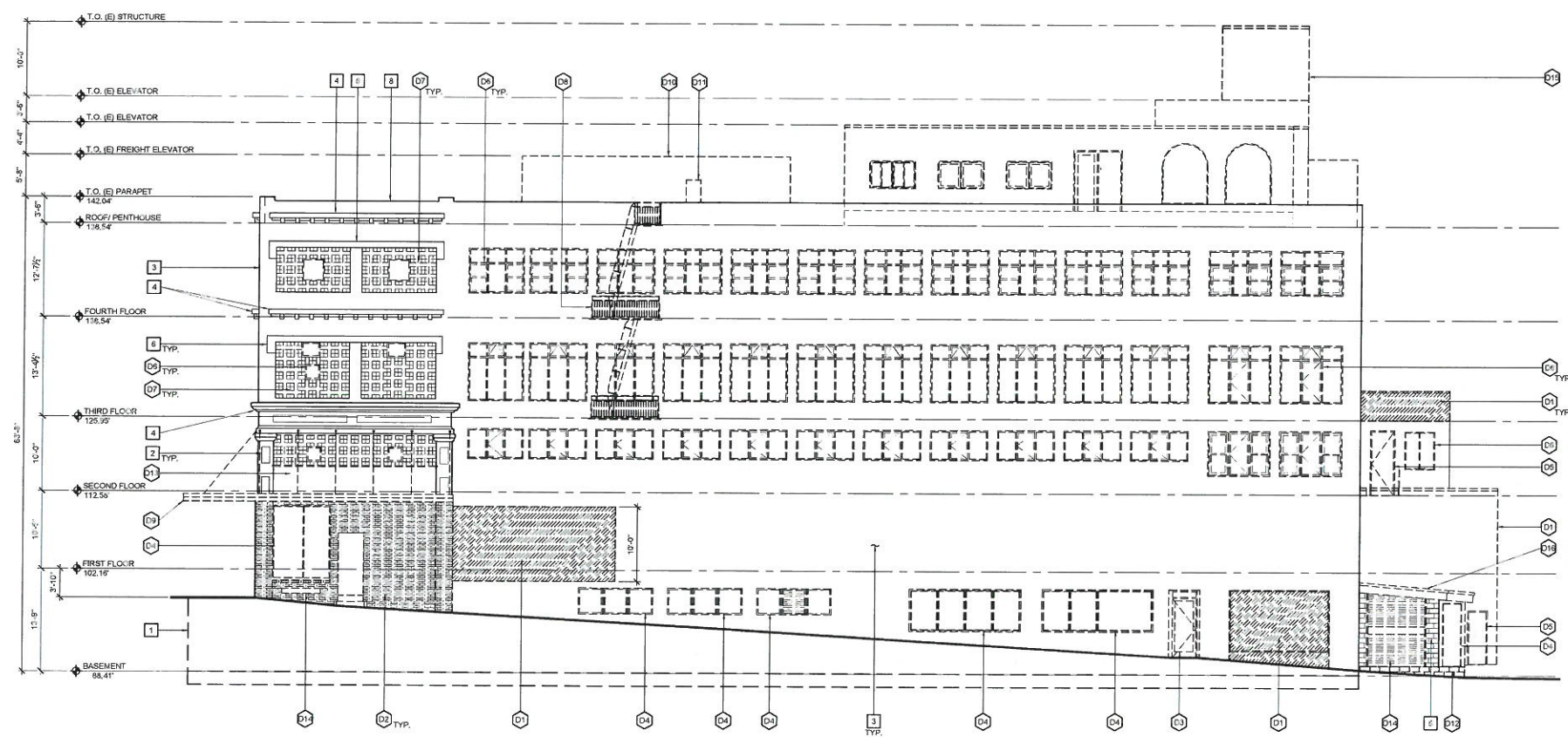
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DEMOLITION NOTES

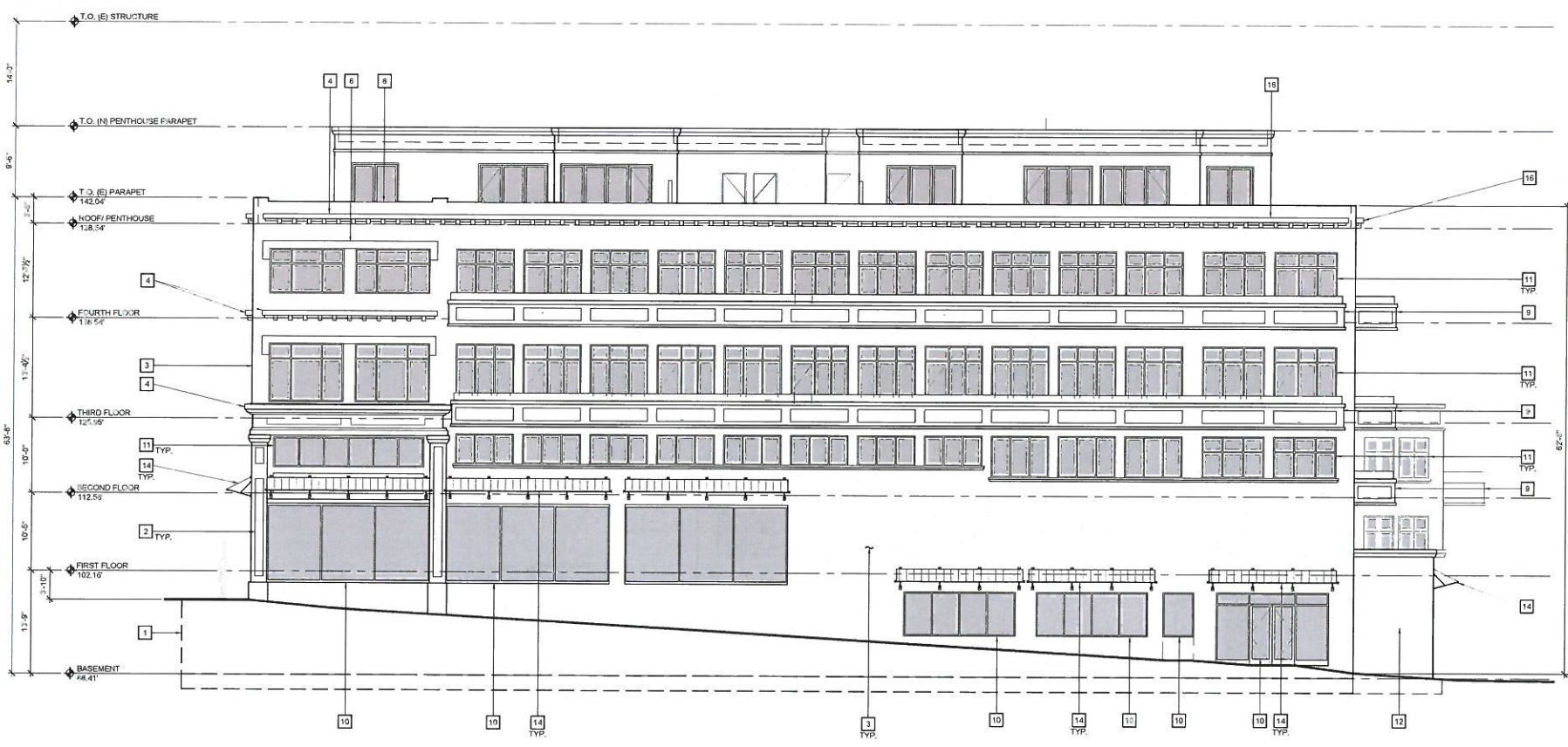
- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- (D1) REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
 - (D2) REMOVE AND LEGALLY DISPOSE OF EXISTING LOW BRICK WALL TO ACCOMMODATE NEW WORK, TYP. AS SHOWN.
 - (D3) REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
 - (D4) REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - (D5) REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
 - (D6) REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
 - (D7) REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING, TYP. AS SHOWN.
 - (D8) REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS, TYP. AS SHOWN.
 - (D9) REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
 - (D10) REMOVE AND LEGALLY DISPOSE OF EXISTING 8'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
 - (D11) REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - (D12) REMOVE AND LEGALLY DISPOSE OF EXISTING CMU PLANTER WALL.
 - (D13) REMOVE EXISTING EXTERIOR WALL FINISH AND REFURBISH TO MATCH ORIGINAL TRIM.
 - (D14) REMOVE AND LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
 - (D15) REMOVE AND LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
 - (D16) REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF.

KEY NOTES

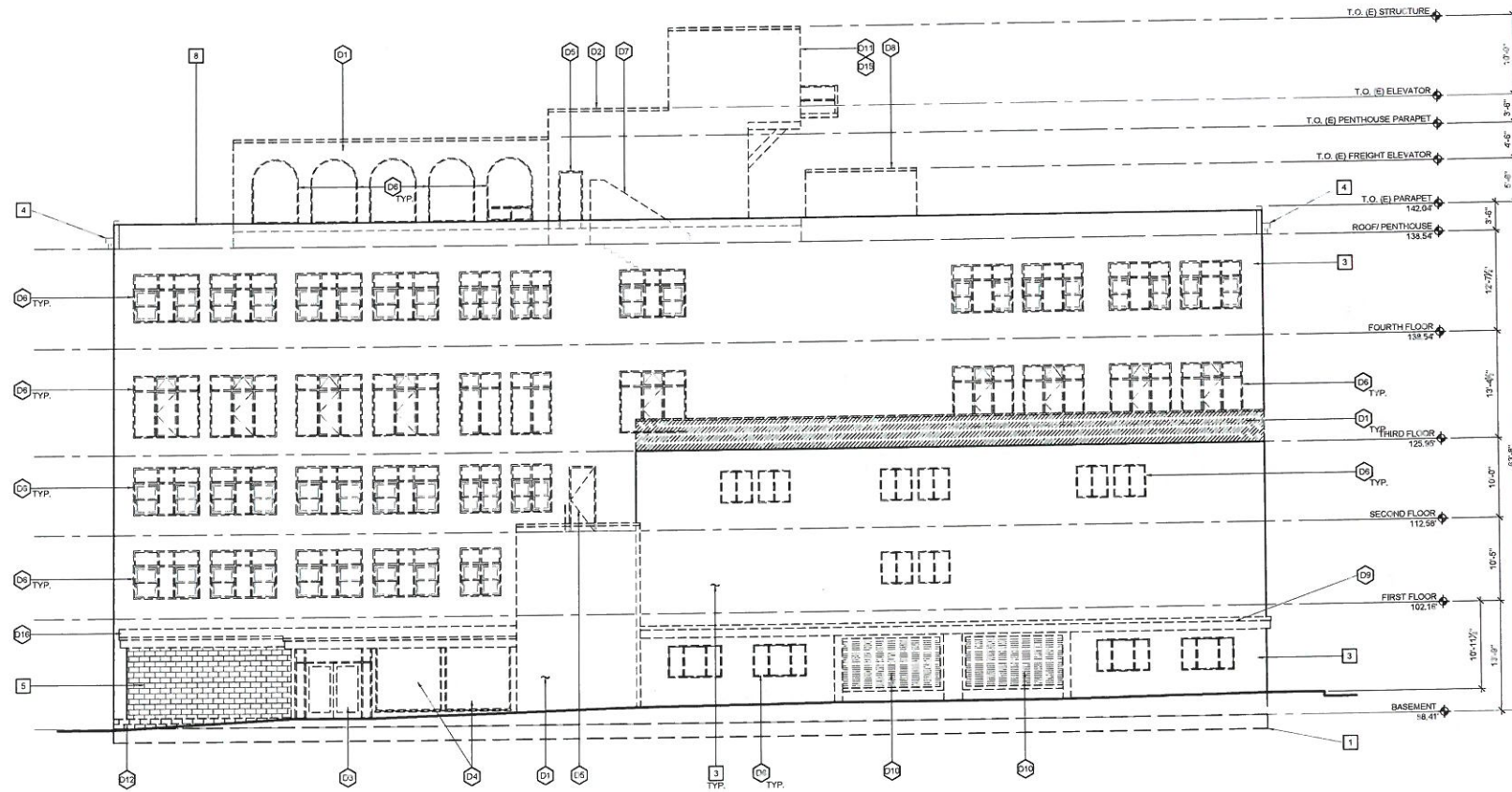
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- (1) DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND.
 - (2) EXISTING DECORATIVE COLUMN TO BE REFURBISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - (3) EXISTING WALL FINISH TO REMAIN, PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - (4) EXISTING DECORATIVE WALL TRIM TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - (5) EXISTING CMU WALL TO REMAIN, PROTECT FROM DAMAGE.
 - (6) EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT, PROTECT FROM DAMAGE.
 - (7) NOT USED.
 - (8) EXISTING ROOF PARAPET WALL.
 - (9) NEW BALCONY.
 - (10) NEW ALUMINUM STOREFRONT COLUMN WINDOW SYSTEM TO MATCH EXISTING.
 - (11) NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
 - (12) NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - (13) NEW METAL AWNING.
 - (14) NEW RETRACTABLE CANVAS AWNING.
 - (15) NOT USED.
 - (16) NEW DECORATIVE WALL TRIM TO MATCH EXISTING.



1 EXISTING/DEMOLITION EAST ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE 1/8" = 1'-0"



1 **EXISTING/DEMOLITION
NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



2 **PROPOSED
NORTH ELEVATION**
SCALE: 1/8" = 1'-0"

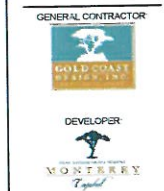
DEMOLITION NOTES

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- (D1) REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW USE.
 - (D2) REMOVE AND LEGALLY DISPOSE OF EXISTING ELEVATOR AND ELEVATOR EQUIPMENT ROOM. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
 - (D3) REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
 - (D4) REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - (D5) REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
 - (D6) REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
 - (D7) REMOVE AND LEGALLY DISPOSE OF EXISTING STAIR ENCLOSURE.
 - (D8) REMOVE AND LEGALLY DISPOSE OF EXISTING FREIGHT ELEVATOR ROOM.
 - (D9) REMOVE AND LEGALLY DISPOSE OF EXISTING OVERHANG.
 - (D10) REMOVE AND LEGALLY DISPOSE OF EXISTING ROLLUP DOOR.
 - (D11) REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - (D12) REMOVE & LEGALLY DISPOSE OF EXISTING CMU PLANTER WALL.
 - (D13) NOT USED.
 - (D14) REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
 - (D15) REMOVE & LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
 - (D16) REMOVE & LEGALLY DISPOSE OF EXISTING ROOF.

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- (1) DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL EXTERIOR WALL BEYOND.
 - (2) NOT USED.
 - (3) EXISTING WALL FINISH TO REMAIN. PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - (4) EXISTING DECORATIVE WALL TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - (5) EXISTING CMU WALL TO REMAIN. PROTECT FROM DAMAGE.
 - (6) NOT USED.
 - (7) NOT USED.
 - (8) EXISTING ROOF PARAPET WALL.
 - (9) NEW BALCONY.
 - (10) NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
 - (11) NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
 - (12) NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - (13) NEW METAL AWNINGS.
 - (14) NEW RETRACTABLE CANVAS AWNING.
 - (15) NEW METAL RAILING.
 - (16) NEW DECORATIVE WALL TRIM TO MATCH EXISTING.
 - (17) NEW DOOR.
 - (18) NEW ROLL-UP DOOR.
 - (19) NEW DECORATIVE WALL CAP TRIM TO MATCH EXISTING.

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GENERAL CONTRACTOR
GOLD COAST CONSTRUCTION
DEVELOPER
MONTEREY
A.P.N.: 008-173-001
A.P.N.: 542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93955

THE HOLMAN BUILDING

JOB NO.
14146
PRINT DATE
PLOT DATE: 8.7.2015
DRAWN BY: AJL
CHECKED BY: KTHR
SET ISSUED

SHEET NAME
NORTH ELEVATIONS

SHEET NO.
A303

FILE NAME: 14146A303

50
WR&D
 WALD RÜHNKE & DOST
 ARCHITECTS LLP
 2740 GARDEN ROAD, SUITE 100
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GENERAL CONTRACTOR

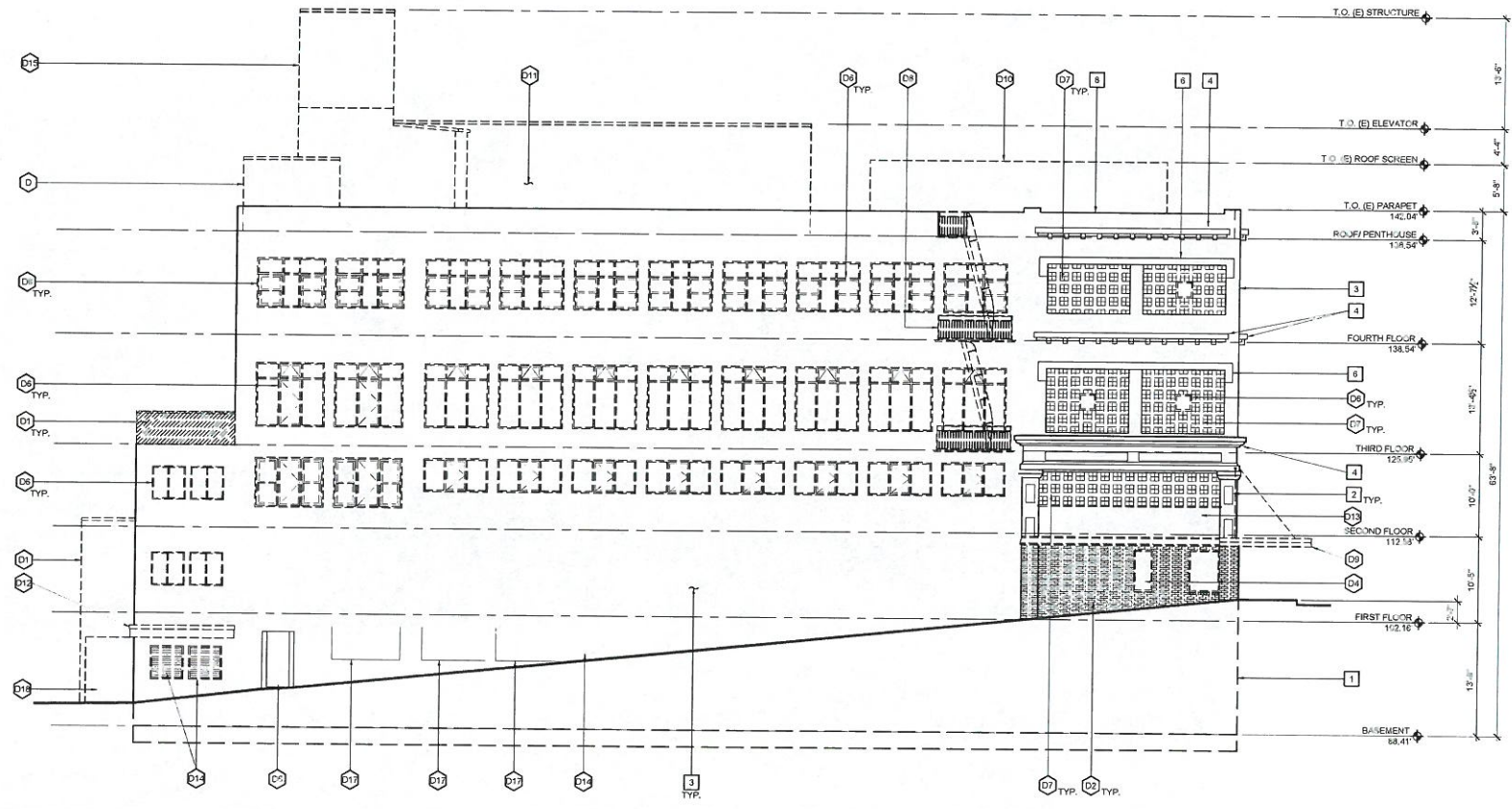
 DEVELOPER


008-773-001
 A.P.N.:

THE HOLMAN BUILDING
 542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

JOB NO.
14146
 PRINT DATE
 PLOT DATE 8.7.2015
 DRAWN BY AQL
 CHECKED BY KTHR
 SET ISSUED

SHEET NAME
WEST ELEVATIONS
 SHEET NO.
A304
 FILE NAME: 14146-A304



1 EXISTING/DEMOLITION WEST ELEVATION
 SCALE 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
 SCALE 1/8" = 1'-0"

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE AND LEGALLY DISPOSE OF EXISTING WALL OR PORTION OF WALL TO ACCOMMODATE NEW WORK. TYP. AS SHOWN.
- D2 REMOVE AND LEGALLY DISPOSE OF EXISTING BRICK WALL TO ACCOMMODATE NEW WORK. TYP. AS SHOWN.
- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR. TYP. AS SHOWN.
- D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW. TYP. AS SHOWN.
- D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING. TYP. AS SHOWN.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS. TYP. AS SHOWN.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
- D10 REMOVE AND LEGALLY DISPOSE OF EXISTING 9'-0" HIGH ROOFTOP EQUIPMENT SCREEN.
- D11 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
- D12 REMOVE AND LEGALLY DISPOSE OF EXISTING OVERHANG.
- D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFURBISH TO MATCH ORIGINAL TRIM.
- D14 REMOVE AND LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
- D15 REMOVE AND LEGALLY DISPOSE OF EXISTING COMMUNICATIONS ROOM. SEE PENTHOUSE/ROOF PLAN FOR ADDITIONAL INFORMATION.
- D16 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF.
- D17 REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR WALL FINISH AT EXISTING WINDOW OPENING AND REFURBISH TO MATCH ORIGINAL.
- D18 REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR STAIRS.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 DASHED LINE INDICATES EXTENTS OF BASEMENT LEVEL, EXTERIOR WALL BEYOND.
- 2 EXISTING DECORATIVE COLUMN TO BE REFURBISHED TO MATCH ORIGINAL. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 3 EXISTING WALL FINISH TO REMAIN. PROTECT FROM DAMAGE. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 4 EXISTING DECORATIVE WALL TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 5 NOT USED.
- 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 7 NOT USED.
- 8 EXISTING ROOF PARAPET WALL.
- 9 NEW BALCONY.
- 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
- 11 NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
- 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
- 13 NOT USED.
- 14 NEW RETRACTABLE CANVAS AWNING.
- 15 NOT USED.
- 16 NEW DECORATIVE WALL TRIM TO MATCH EXISTING.
- 17 NEW DECORATIVE WALL CAP TO MATCH EXISTING TRIM.



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PHONE: 831.642.4542
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GENERAL CONTRACTOR



DEVELOPER



THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93940
A.P.N.: 008-173-001

JOB NO.
14146
PRINT DATE
PLOT DATE 8.7.2015
DRAWN BY: AGL
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SHEET NAME
3D PERSPECTIVE RENDERINGS

SHEET NO.

A404

FILE NAME: 14146A04



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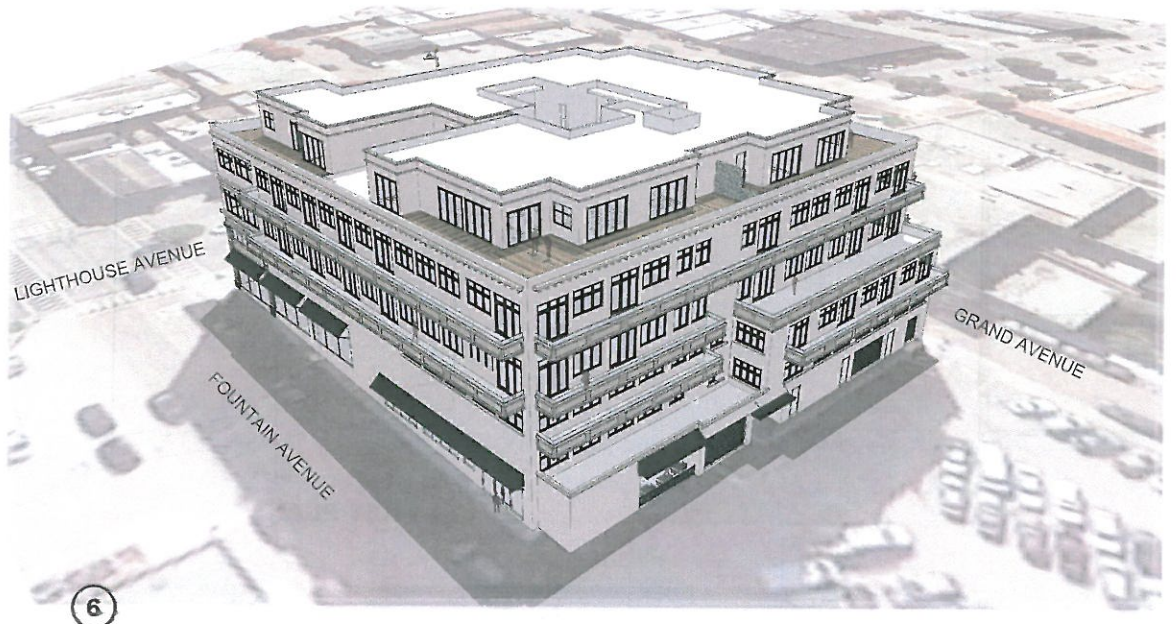
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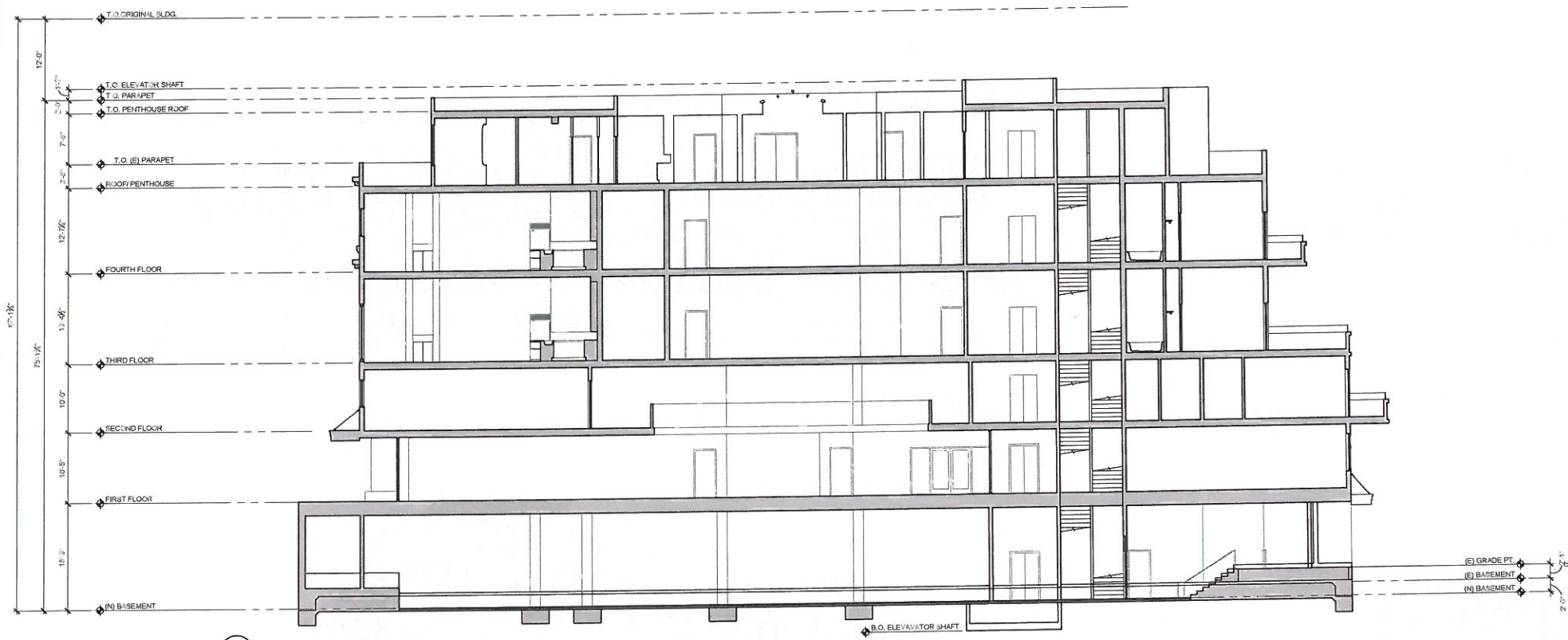


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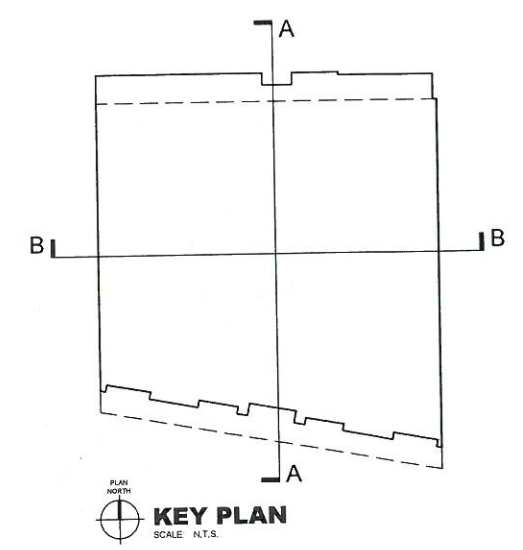
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1 SECTION A-A
SCALE: 1/8" = 1'-0"



2 SECTION B-B
SCALE: 1/8" = 1'-0"



GENERAL CONTRACTOR
GOLD COAST BUILDING
DEVELOPER
MONTEREY

THE HOLMAN BUILDING
542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO.
14146
PRINT DATE
PLOT DATE 8.7.2015
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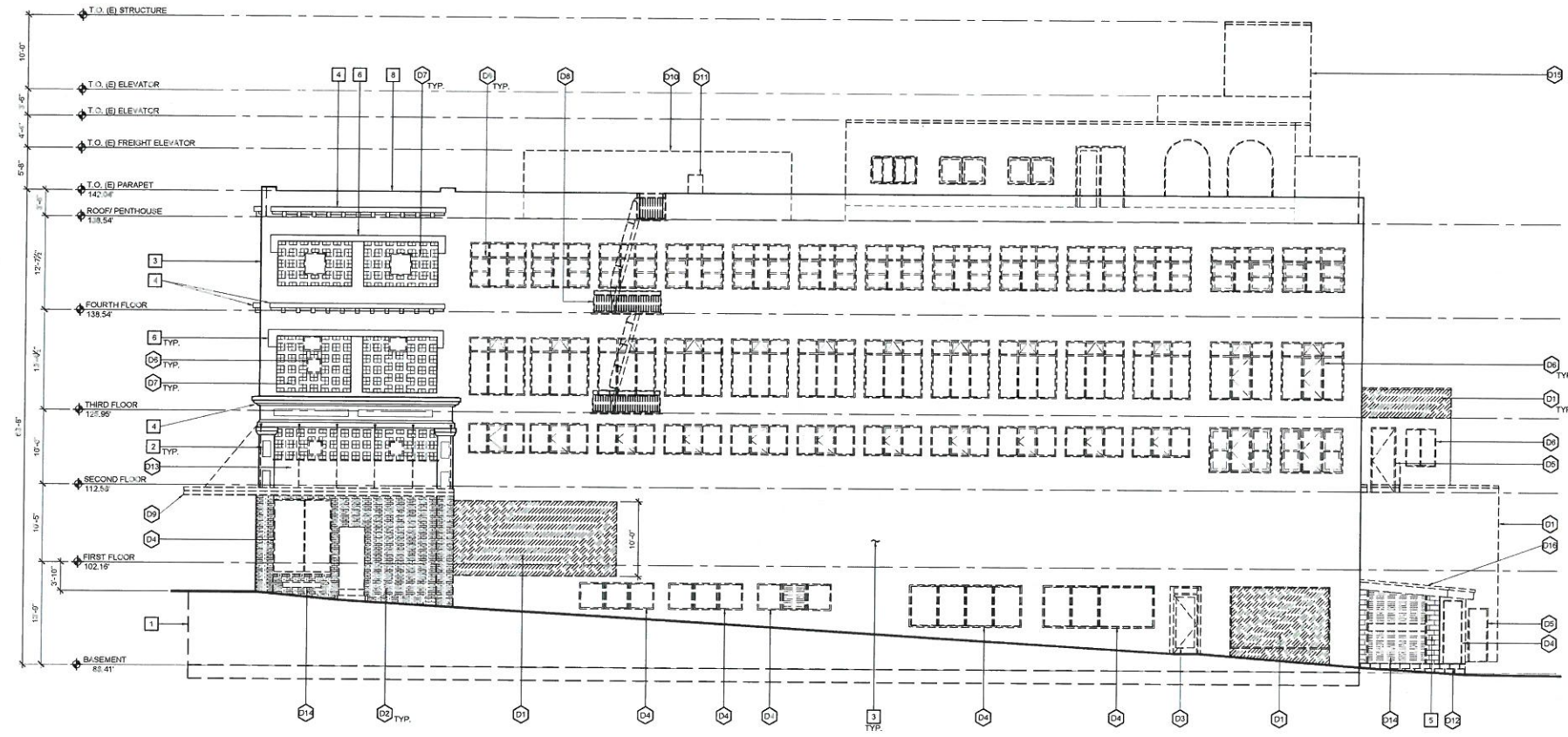
SHEET NAME
BUILDING SECTIONS

SHEET NO.

A701

FILE NAME

A.P.N.: 005-173-001



1 EXISTING/DEMOLITION
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

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- D3 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT DOOR SYSTEM.
- D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
- D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR, TYP. AS SHOWN.
- D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW, TYP. AS SHOWN.
- D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING, TYP. AS SHOWN.
- D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS, TYP. AS SHOWN.
- D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL AWNING SYSTEM.
- D10 REMOVE AND LEGALLY DISPOSE OF EXISTING 6" HIGH ROOFTOP EQUIPMENT SCREEN.
- D11 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
- D12 REMOVE AND LEGALLY DISPOSE OF EXISTING CMU PLANTER WALL.
- D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFURBISH TO MATCH ORIGINAL TRIM.
- D14 REMOVE AND LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
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- D16 REMOVE AND LEGALLY DISPOSE OF EXISTING ROOF.

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- 5 EXISTING CMU WALL TO REMAIN. PROTECT FROM DAMAGE.
- 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
- 7 NOT USED.
- 8 EXISTING PC OF PARAPET WALL.
- 9 NEW BALCONY.
- 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
- 11 NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
- 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
- 13 NEW METAL AWNING.
- 14 NEW RETRACTABLE CANVAS AWNING.
- 15 NOT USED.
- 16 NEW DECORATIVE WALL TRIM TO MATCH EXISTING.

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CA 93950

APN: 006-173-001

GENERAL CONTRACTOR
GOLD CREST
 DEVELOPER
MONTEREY

JOB NO:
14146

PRINT DATE:
 8/23/2015

PLOT DATE:
 8/23/2015

DRAWN BY:
 ARL

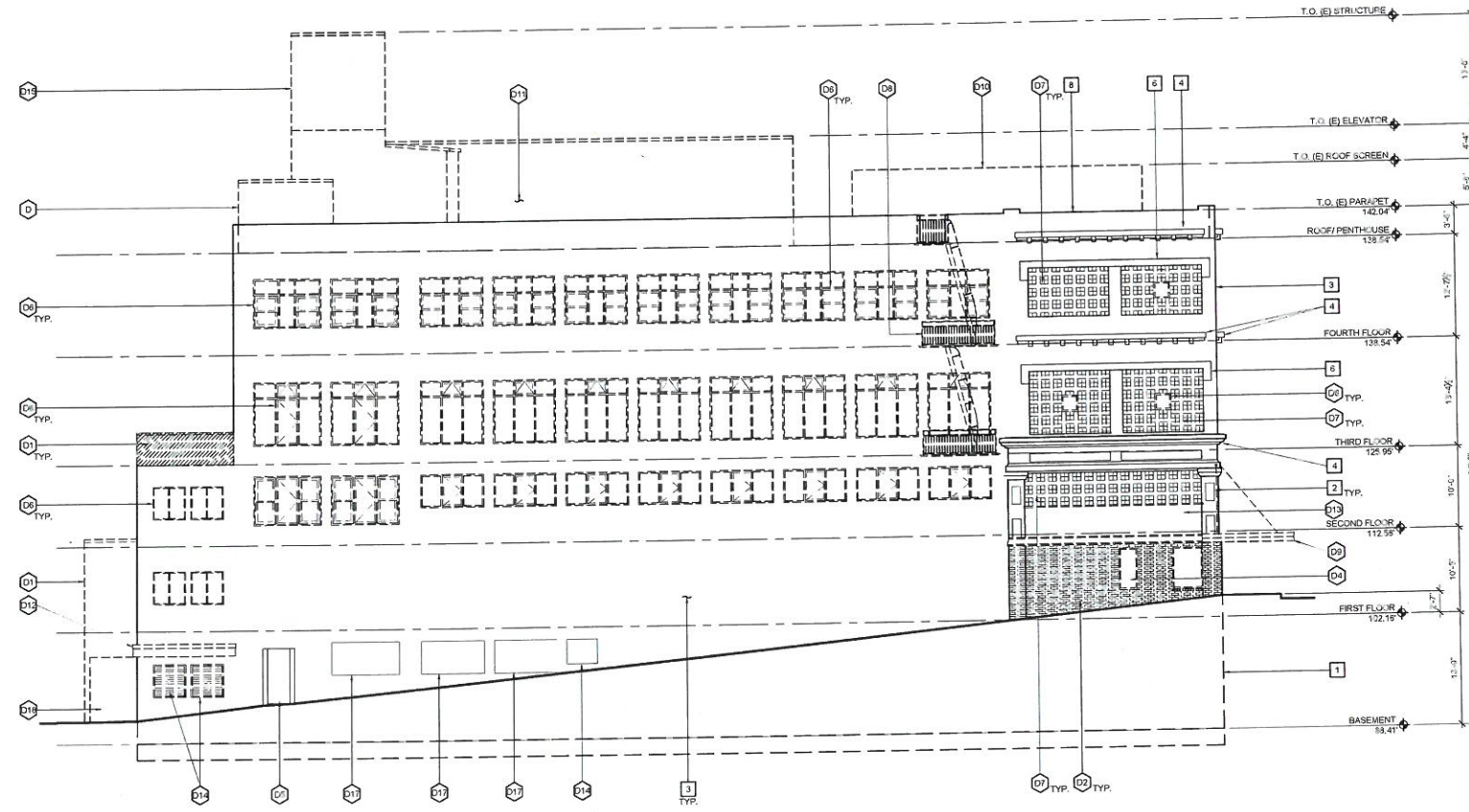
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SHEET NAME:
EAST ELEVATIONS

SHEET NO.
A302

FILENAME: 106432



1 EXISTING/DEMOLITION WEST ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE 1/8" = 1'-0"

DEMOLITION NOTES

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 - D4 REMOVE AND LEGALLY DISPOSE OF EXISTING STOREFRONT WINDOW SYSTEM.
 - D5 REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR. TYP. AS SHOWN.
 - D6 REMOVE AND LEGALLY DISPOSE OF EXISTING WINDOW. TYP. AS SHOWN.
 - D7 REMOVE AND LEGALLY DISPOSE OF GLASS BLOCK AT EXISTING WINDOW OPENING. TYP. AS SHOWN.
 - D8 REMOVE AND LEGALLY DISPOSE OF EXISTING FIRE ESCAPE STAIRS. TYP. AS SHOWN.
 - D9 REMOVE AND LEGALLY DISPOSE OF EXISTING METAL FINISH SYSTEM.
 - D10 REMOVE AND LEGALLY DISPOSE OF EXISTING 9'-2" HIGH ROOFTOP EQUIPMENT SCREEN.
 - D11 REMOVE & LEGALLY DISPOSE OF EXISTING ROOFTOP MECHANICAL EQUIPMENT.
 - D12 REMOVE & LEGALLY DISPOSE OF EXISTING OVERHANG.
 - D13 REMOVE EXISTING EXTERIOR WALL FINISH AND REFINISH TO MATCH ORIGINAL TRIM.
 - D14 REMOVE & LEGALLY DISPOSE OF EXISTING EXHAUST VENT.
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KEY NOTES

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 - 5 NOT USED.
 - 6 EXISTING CEMENT PLASTER WINDOW TRIM TO REMAIN INTACT. PROTECT FROM DAMAGE.
 - 7 NOT USED.
 - 8 EXISTING ROOF PARAPET WALL.
 - 9 NEW BALCONY.
 - 10 NEW ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM TO MATCH EXISTING.
 - 11 NEW VINYL WINDOWS TO MATCH STOREFRONT COLOR.
 - 12 NEW SMOOTH CEMENT PLASTER FINISH TO MATCH EXISTING EXTERIOR FINISH.
 - 13 NOT USED.
 - 14 NEW RETRACTABLE CANVAS AWNING.
 - 15 NOT USED.
 - 16 NEW DECORATIVE WALL TRIM TO MATCH EXISTING.
 - 17 NEW DECORATIVE WALL CAP TO MATCH EXISTING TRIM.

50

WR&D

WALD RUFHKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
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GENERAL CONTRACTOR

GOLD COAST
CONSTRUCTION

DEVELOPER

MONTEREY
CITY

008-173-001
A.P.N.

THE HOLMAN BUILDING

542 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

JOB NO:
14146

PRINT DATE: 8.20.2015

DRAWN BY: ASL

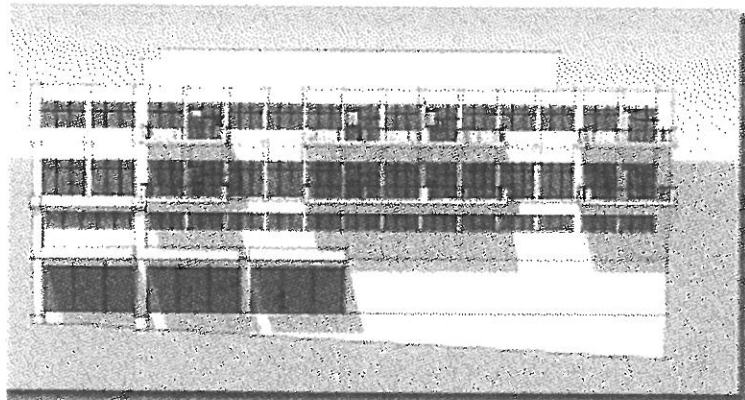
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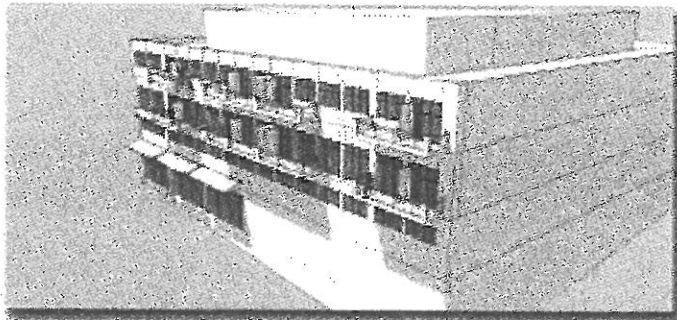
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WEST ELEVATIONS

SHEET NO.
A304

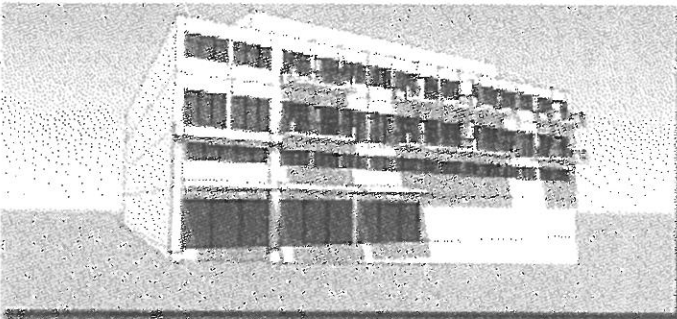
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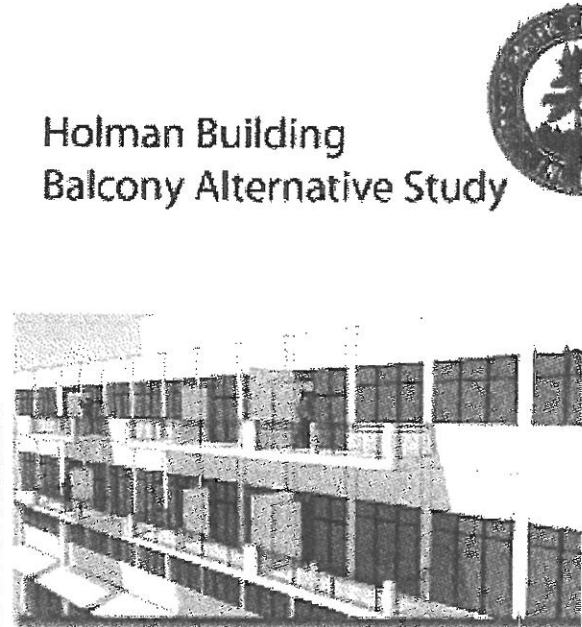
Modular Balcony - Elevation



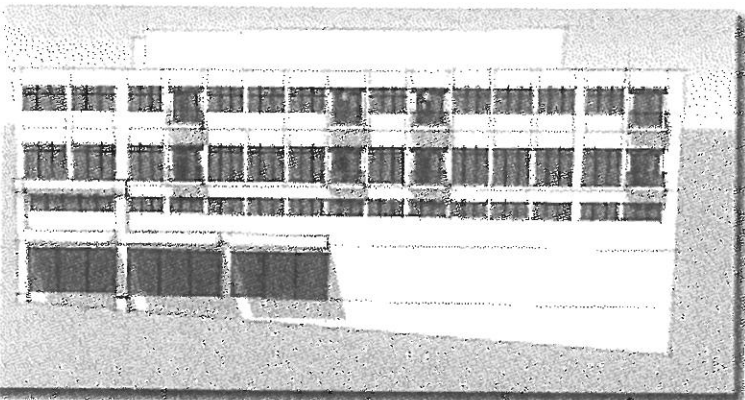
Modular Balcony - Oblique



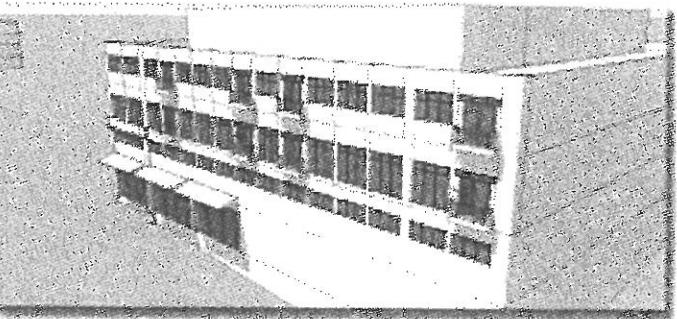
Modular Balcony From Below



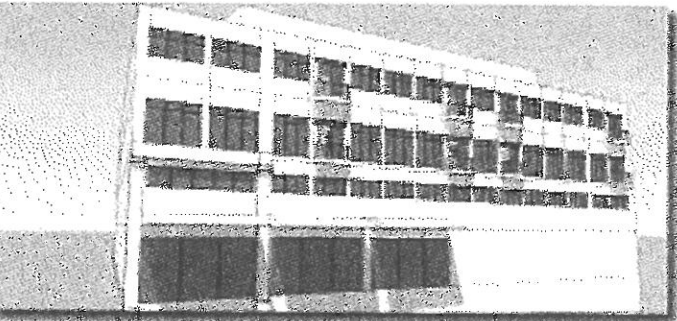
Modular Balcony - Detail



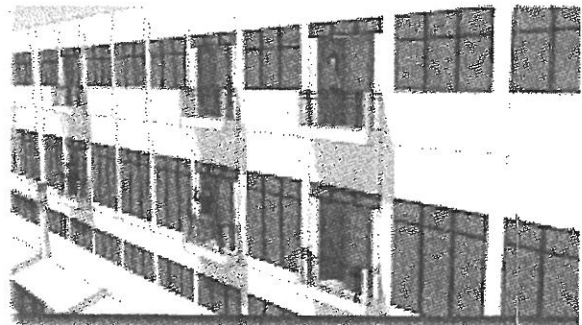
French Balcony - Elevation



French Balcony - Oblique



French Balcony From Below



French Balcony - Detail

Holman Building
Balcony Alternative Study

